

12 11 10 9 8 7 6 5 4 3 2 1



PERSPECTIVE VIEW 5

PROJECT AND OWNER:

### NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT

1355 N BAY DRIVE, MIAMI, FLORIDA 33133

**B Developments**  
1931 NE 13th Ave  
Miami, FL 33178  
305 571 1828

**Fernández Prieto & Asoc.**  
The Architectural Firm

ARCHITECT:

**itec design**  
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CIVIL ENGINEERS  
**VEN Engineering**  
leo@veneng.com  
8550 W Flagler St Miami, FL 33144  
(305) 551-6267

LANDSCAPE  
**Matthew Lewis Studio**  
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400 NW 28th St  
Miami, FL 33127  
305.417.9998

KEY PLAN:

### PERMIT SET

PERMIT APPLICATION DATE:  
ISSUE DATE: 02-07-2014  
PROJECT No.: 1330  
DRAWN BY: ME/AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
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SEAL:

SIGNATURE:  
ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:  
PERSPECTIVE VIEWS

SCALE:  
N.T.S.

SHEET No.:

# A4-1.02

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**RECEIVED**  
B2014-004  
FEB 27 2014

MIAMI-DADE COUNTY  
DEPT. OF PLANNING & ZONING  
SHORE LINE DEV. REVIEW COMM.

BY: Emel 2/16/14

11 10 9 8 7 6 5 4 3 2 1

PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
RESIDENTIAL DEVELOPMENT  
1855 N BAY DR / SEASIDEWAY | MIAMI | FLORIDA 33135



ARCHITECT:

**itec design**



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KEY PLAN:



**PERMIT SET**

PERMIT APPLICATION DATE:

ISSUE DATE: 02-07-2014

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PERSPECTIVE VIEWS

SCALE:

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SHEET No.:

**A4-1.04**

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PERSPECTIVE VIEW 4

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B2014-004  
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MIAMI-DADE COUNTY  
DEPT. OF PLANNING & ZONING  
SHORE LINE DEV. REVIEW COMM.

BY \_\_\_\_\_

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1875 N BAY COLLEGEWAY | MIAMI | FL 33137



ARCHITECT:

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LANDSCAPE:

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KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 02-07-2014

PROJECT No. 1338

DRAWN BY: ME/AG APPROVED BY: AG

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SEAL:



SIGNATURE:

ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:

PERSPECTIVE VIEWS

SCALE:

N.T.S.

SHEET No.:

# A4-1.03

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PERSPECTIVE VIEW 3

# RECEIVED

B2014-004  
FEB 27 2014

MIAMI-DADE COUNTY  
DEPT. OF PLANNING & ZONING  
SHORE LINE DEV. REVIEW COMM.

BY \_\_\_\_\_

PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
 RESIDENTIAL DEVELOPMENT  
 1575 N BAY CAUSEWAY | MIAMI | FLORIDA 33132



ARCHITECT:

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 Miami, FL 33137  
 305.417.9968

KEY PLAN:



PERMIT SET

PERMIT APPLICATION DATE:  
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SEAL:



SIGNATURE:  
 ARTURO G. GRIEGO  
 LIC# AR84011

SHEET TITLE:  
 PERSPECTIVE VIEWS

SCALE:  
 N.T.S.

SHEET No.:

**A4-1.05**  
 Rec design inc. 2014



PERSPECTIVE VIEW 1

**RECEIVED**  
 B2014-004  
 FEB 27 2014

MIAMI-DADE COUNTY  
 DEPT. OF PLANNING & ZONING  
 SHORE LINE DEV. REVIEW COMM.  
 BY \_\_\_\_\_

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1855 N BAY CHASEWAY | MIAMI | FLORIDA 33132



ARCHITECT:

itcdesign



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KEY PLAN:



## PERMIT SET

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ISSUE DATE: 02-07-2014

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SHEET TITLE:

PERSPECTIVE VIEWS

SCALE:

N.T.S.

SHEET No.:

# A4-1.06

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PERSPECTIVE VIEW 2

# RECEIVED

B2014-004  
FEB 27 2014

MIAMI-DADE COUNTY  
DEPT. OF PLANNING & ZONING  
SHORELINE DEV. REVIEW COMM.

BY \_\_\_\_\_

**PROPERTY ADDRESS & FOLIO NUMBER:**  
1555 N BAY CAUSEWAY | NORTH BAY VILLAGE | FLORIDA 33141  
FOLIO # 23-3209-000-020 & # 23-3209-000-030

**LEGAL DESCRIPTION:**  
PARCEL A COMMENCING AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, WHICH SAME IS RECORDED IN PLAT BOOK 25, AT PAGE 70 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; RUN NORTH 88°41'24" EAST FOR 1960 FEET; THENCE NORTH 01°37'08" WEST FOR 50.00 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING CONTINUE NORTH 01°37'08" WEST FOR A DISTANCE OF 180 FEET TO A POINT; THENCE RUN NORTH 88°41'24" EAST FOR A DISTANCE OF 200 FEET TO A POINT; THENCE RUN SOUTH 01°37'08" EAST FOR A DISTANCE OF 180 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF N.E. 79TH STREET CAUSEWAY; THENCE RUN SOUTH 88°41'24" WEST ALONG SAID LINE FOR A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING, LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

PARCEL B COMMENCING AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, WHICH SAME IS RECORDED IN PLAT BOOK 25, AT PAGE 70 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; RUN NORTH 88°41'24" EAST, FOR 2160 FEET; THENCE NORTH 01°37'08" WEST FOR 50.00 FEET TO THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING CONTINUE NORTH 01°37'08" WEST FOR A DISTANCE OF 180 FEET TO A POINT; THENCE RUN NORTH 88°41'24" EAST FOR A DISTANCE OF 265 FEET TO A POINT; THENCE RUN SOUTH 01°37'08" EAST FOR A DISTANCE OF 180 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF N.E. 79TH STREET CAUSEWAY; THENCE RUN SOUTH 88°41'24" WEST ALONG SAID LINE FOR A DISTANCE OF 265 FEET TO THE POINT OF BEGINNING, LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

**GOVERNING CODES:**  
FLORIDA BUILDING CODE, 2010  
NFPA 101 - LIFE SAFETY CODE 2012 EDITION  
FLORIDA FIRE PREVENTION CODE 2010  
NATIONAL ELECTRICAL CODE  
2010 FBC - MECHANICAL  
2010 FBC - PLUMBING  
FLORIDA FAIR HOUSING ACT

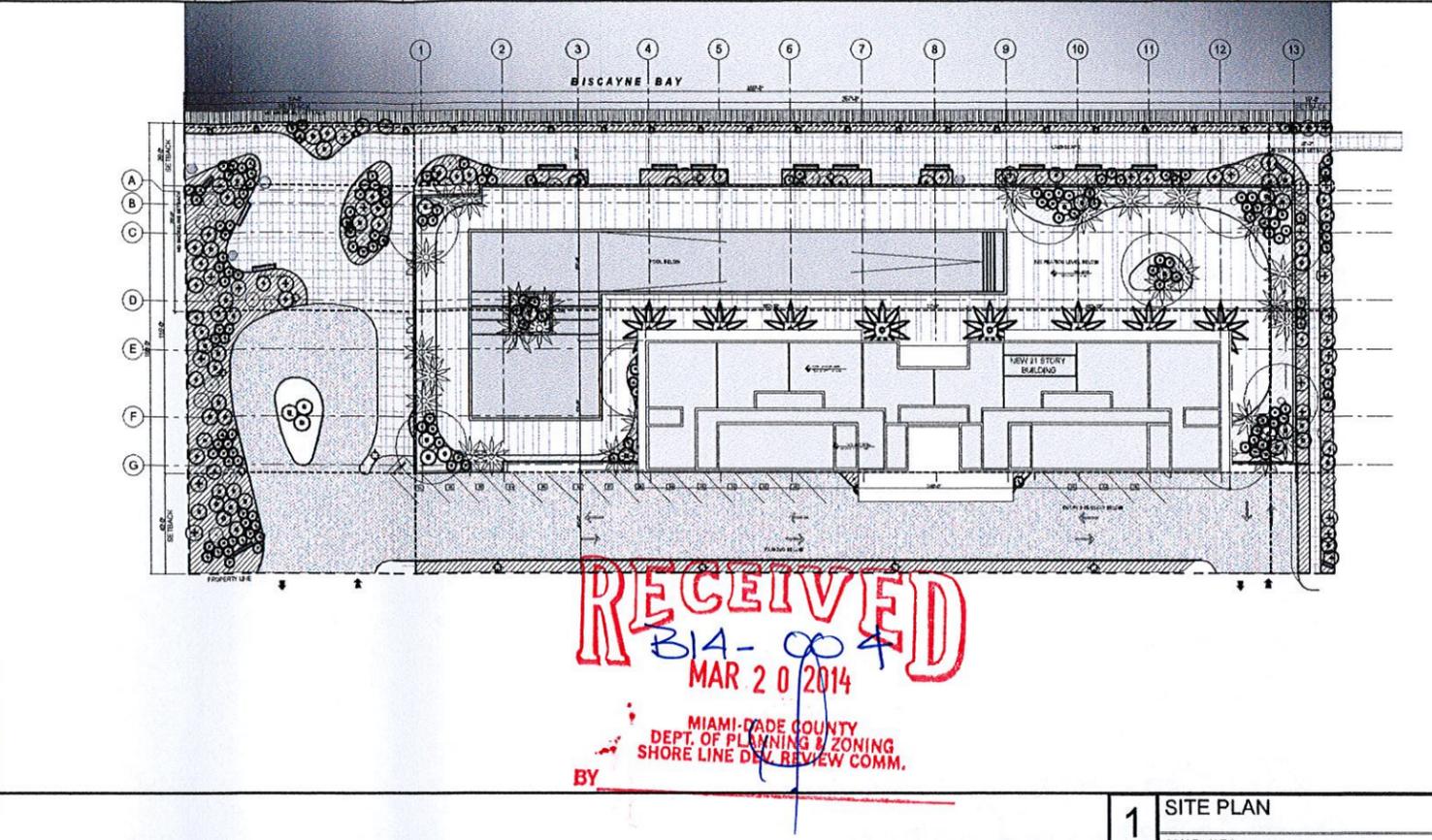
**TYPE OF CONSTRUCTION:**  
TYPE I CONSTRUCTION - CONCRETE COLUMNS, CONCRETE SLAB -  
TYPE I PROTECTED NFPA 13 - CBS EXTERIOR WALLS

**OCCUPANCY CLASSIFICATION:**  
RESIDENTIAL GROUP R2  
BUSINESS GROUP B  
MERCANTILE GROUP M  
AS PER FBC 2010, CHAPTER 3

**SCOPE OF WORK:**  
NEW CONSTRUCTION OF MIXED USE MULTIFAMILY RESIDENTIAL DEVELOPMENT

**BUILDING DATA:**

PROPOSED	
<b>BUILDING AREA</b>	LEVEL 01 = 37,587 SQ. FT. PK.MEZZ.LVL. = 40,492 SQ. FT. LEVEL 02 = 40,492 SQ. FT. LEVEL 03 = 40,492 SQ. FT. LEVEL 04 = 40,492 SQ. FT. LEVEL 05 = 40,492 SQ. FT. LEVEL 06 = 11,019 SQ. FT. LEVEL 07 = 12,919 SQ. FT. LEVEL 08 = 12,919 SQ. FT. LEVEL 09 = 12,919 SQ. FT. LEVEL 10 = 12,919 SQ. FT. LEVEL 11 = 12,919 SQ. FT. LEVEL 12 = 12,919 SQ. FT. LEVEL 13 = 12,919 SQ. FT. LEVEL 14 = 12,919 SQ. FT. LEVEL 15 = 12,919 SQ. FT. LEVEL 16 = 12,919 SQ. FT. LEVEL 17 = 12,919 SQ. FT. LEVEL 18 = 12,919 SQ. FT. LEVEL 19 = 12,919 SQ. FT. LEVEL 20 = 12,919 SQ. FT. LEVEL 21 = 12,919 SQ. FT.
<b>UNIT COUNT</b>	TOTAL AREA = 444,651 SQ. FT. LEVEL 07 = 9 UNITS LEVEL 08 = 9 UNITS LEVEL 09 = 9 UNITS LEVEL 10 = 9 UNITS LEVEL 11 = 9 UNITS LEVEL 12 = 9 UNITS LEVEL 13 = 9 UNITS LEVEL 14 = 9 UNITS LEVEL 15 = 9 UNITS LEVEL 16 = 9 UNITS LEVEL 17 = 9 UNITS LEVEL 18 = 9 UNITS LEVEL 19 = 9 UNITS LEVEL 20 = 10 PENTHOUSE UNITS TOTAL UNIT COUNT = 127 UNITS
<b>UNIT BREAKDOWN</b>	LEVELS 07 TO 19 (6) EFF. X 13 LVLS = 78 UNITS (3) 2 BED X 13 LVLS = 39 UNITS
	LEVEL 20 (2) 1BED X 1 LVLS = 2 UNITS (6) 2BED X 1 LVLS = 6 UNITS (2) 3BED X 1 LVLS = 2 UNITS
<b>TOTAL UNIT COUNT</b>	TOTAL 3BED = 2 UNITS TOTAL 2BED = 45 UNITS TOTAL 1BED = 2 UNITS TOTAL EFF. = 78 UNITS
<b>TOTAL UNITS</b>	TOTAL UNITS = 127 UNITS



**PROJECT AND OWNER:**  
**NORTH BAY VILLAGE II**  
RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI, FLORIDA 33141

**ARCHITECT:**  
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**ENGINEER:**  
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**LANDSCAPE:**  
Matthew Lewis Studio  
mcl@matthewlewisstudio.com  
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Miami, FL 33127  
305.417.5968

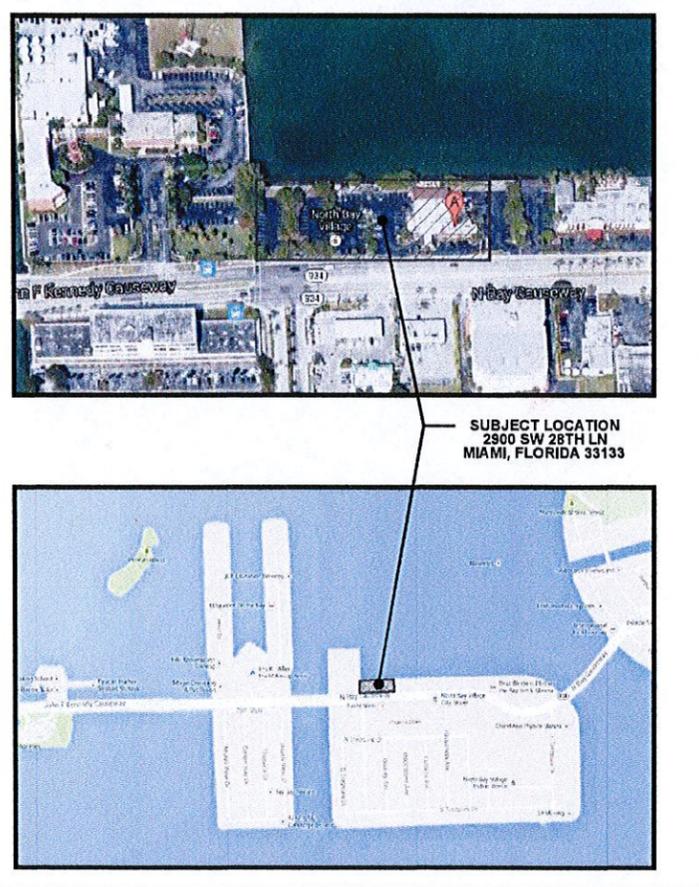
**KEY PLAN:** JUN 30 2014 1:05 PM

**1 SITE PLAN**  
SCALE: N.T.S.

**SITE ZONING:**

CG-GENERAL COMMERCIAL / BVO BAY VIEW OVERLAY / RM70																																													
REQUIRED/ALLOWED	PROPOSED																																												
<b>LOT AREA</b>	83,699 SQ FT (1,9215 ACRES)																																												
<b>LOT COVERAGE</b>	20% PERVIOUS AREA / W/SETBACKS TOTAL LOT COVERAGE ALLOWED = 41,057 SQ.FT.																																												
<b>F.A.R.</b>	COMMERCIAL FUTURE LAND USE CATEGORY = 2.5 X LOT AREA TOTAL F.A.R. ALLOWED = 209,248 SQ.FT.																																												
<b>F.A.R. (MIN. UNITS SIZES)</b>	<table border="1"> <thead> <tr> <th>UNIT TYPE</th> <th>REQUIRED MIN. SIZE</th> <th>PROVIDED UNIT AREA</th> <th># OF UNITS</th> </tr> </thead> <tbody> <tr><td>A (2 BED)</td><td>1,200 S.F.</td><td>1,480 S.F.</td><td>13</td></tr> <tr><td>B (EFFICIENCY)</td><td>600 S.F.</td><td>754 S.F.</td><td>52</td></tr> <tr><td>C (2 BED)</td><td>1,200 S.F.</td><td>1,298 S.F.</td><td>26</td></tr> <tr><td>D (EFFICIENCY)</td><td>600 S.F.</td><td>741 S.F.</td><td>26</td></tr> <tr><td>PH1 (2 BED)</td><td>1,200 S.F.</td><td>1,544 S.F.</td><td>2</td></tr> <tr><td>PH2 (2 BED)</td><td>1,200 S.F.</td><td>1,635 S.F.</td><td>4</td></tr> <tr><td>PH3 (3 BED)</td><td>1,350 S.F.</td><td>2,269 S.F.</td><td>2</td></tr> <tr><td>PH4 (1 BED)</td><td>900 S.F.</td><td>1,111 S.F.</td><td>2</td></tr> <tr><td><b>TOTAL</b></td><td></td><td></td><td><b>127</b></td></tr> </tbody> </table>	UNIT TYPE	REQUIRED MIN. SIZE	PROVIDED UNIT AREA	# OF UNITS	A (2 BED)	1,200 S.F.	1,480 S.F.	13	B (EFFICIENCY)	600 S.F.	754 S.F.	52	C (2 BED)	1,200 S.F.	1,298 S.F.	26	D (EFFICIENCY)	600 S.F.	741 S.F.	26	PH1 (2 BED)	1,200 S.F.	1,544 S.F.	2	PH2 (2 BED)	1,200 S.F.	1,635 S.F.	4	PH3 (3 BED)	1,350 S.F.	2,269 S.F.	2	PH4 (1 BED)	900 S.F.	1,111 S.F.	2	<b>TOTAL</b>			<b>127</b>				
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<b>TOTAL</b>			<b>127</b>																																										
<b>DENSITY (MIN. UNITS SIZES)</b>	70 EFFICIENCY OR ONE BEDROOM DWELLING UNITS PER ACRE TOTAL REQUIRED LAND AREA																																												
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<b>PERVIOUS AREA</b>	20% MIN. = 16,739 SQ.FT.																																												
<b>TOTAL OPEN SPACE REQUIRED</b>	16,739.8 SQ.FT.																																												
<b>TOTAL OPEN SPACE PROVIDED</b>	23,008 SQ.FT.																																												

	REQUIRED/ALLOWED	PROPOSED
<b>MAX. BUILDING HEIGHT</b>	150 PR 15 STORIES BONUS FOR 240' FOR BVO DISTRICT (SUBSECTIONS 152.029 (G) (8) & (A) THROUGH (F))	240'-0"
<b>SETBACKS</b>	KENNEDY CAUSEWAY (NORTH SIDE) 40'-0" MIN. ONE SIDE (INTERIOR) 15'-0" MIN. SECOND SIDE (INTERIOR) 20% OF LOT WIDTH REAR 25'-0" MIN	40'-0" 15'-0" 93'-0" 25'-0"
<b>PARKING</b>	<b>RESIDENTIAL PARKING</b> 1.5 / PER EFFICIENCY (1.5 X 78 UNITS) = 117 PARKING SPACES 2 / (1) OR (2) BEDROOM UNITS (2 X 47 UNITS) = 94 PARKING SPACES 3 / PER 3 BEDROOM UNITS (3 X 2 UNITS) = 6 PARKING SPACES PARKING SPACES REQ. FOR RESIDENTIAL = 217 PK. SP. PARKING REQUIRED FOR VISITORS = 10% X 217 = 22 PK.SP. <b>OFFICE PARKING</b> 1 / 300 SQ.FT TOTAL OFFICE AREA = 9,625 SQ.FT. / 300 = 32.1 PARKING SPACES REQ. FOR OFFICE = 33 PK. SP. <b>RETAIL PARKING</b> 1 PK.SP / 200 SQ.FT. GFA TOTAL RETAIL AREA 19,280 SQ.FT. / 200 = 96.4 PARKING SPACES REQ. FOR RETAIL = 97 PK. SP.	<b>PARKING SPACES PROVIDED PER LEVEL:</b> GND. LVL. = 15 PK. SP. LEVEL 02 = 75 PK. SP. LEVEL 03 = 90 PK. SP. LEVEL 04 = 90 PK. SP. LEVEL 05 = 90 PK. SP. LEVEL 06 = 60 PK. SP. TOTAL PARKING SPACES PROVIDED = 420 PK. SP. (37 PARALLEL SPACES 9'X24' INCLUDED IN TOTAL) (9 HDCC SPACES 12'X18' INCLUDED IN TOTAL)
	TOTAL PARKING SPACES REQUIRED = 369 PARKING SPACES 2% MIN. HDCC PARKING SPACES REQUIRED (8 SPACES)	



**PERMIT SET**

**PERMIT APPLICATION DATE:**  
ISSUE DATE: 03-20-2014  
PROJECT No.: 1339  
DRAWN BY: ME/AG APPROVED BY: AG

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LIC# AR84011

**SIGNATURE:**  
ARTURO G. GRIEGO  
LIC# AR84011

**SHEET TITLE:**  
SITE PLAN & ZONING INFORMATION

**SCALE:**  
AS NOTED

**SHEET No.:**  
G-3

**2 AERIAL VIEW AND LOC. MAP**  
SCALE: N.T.S.

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 03-20-2014  
 PROJECT No.: 1338  
 DRAWN BY: ME/AG APPROVED BY: AG

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SEAL:



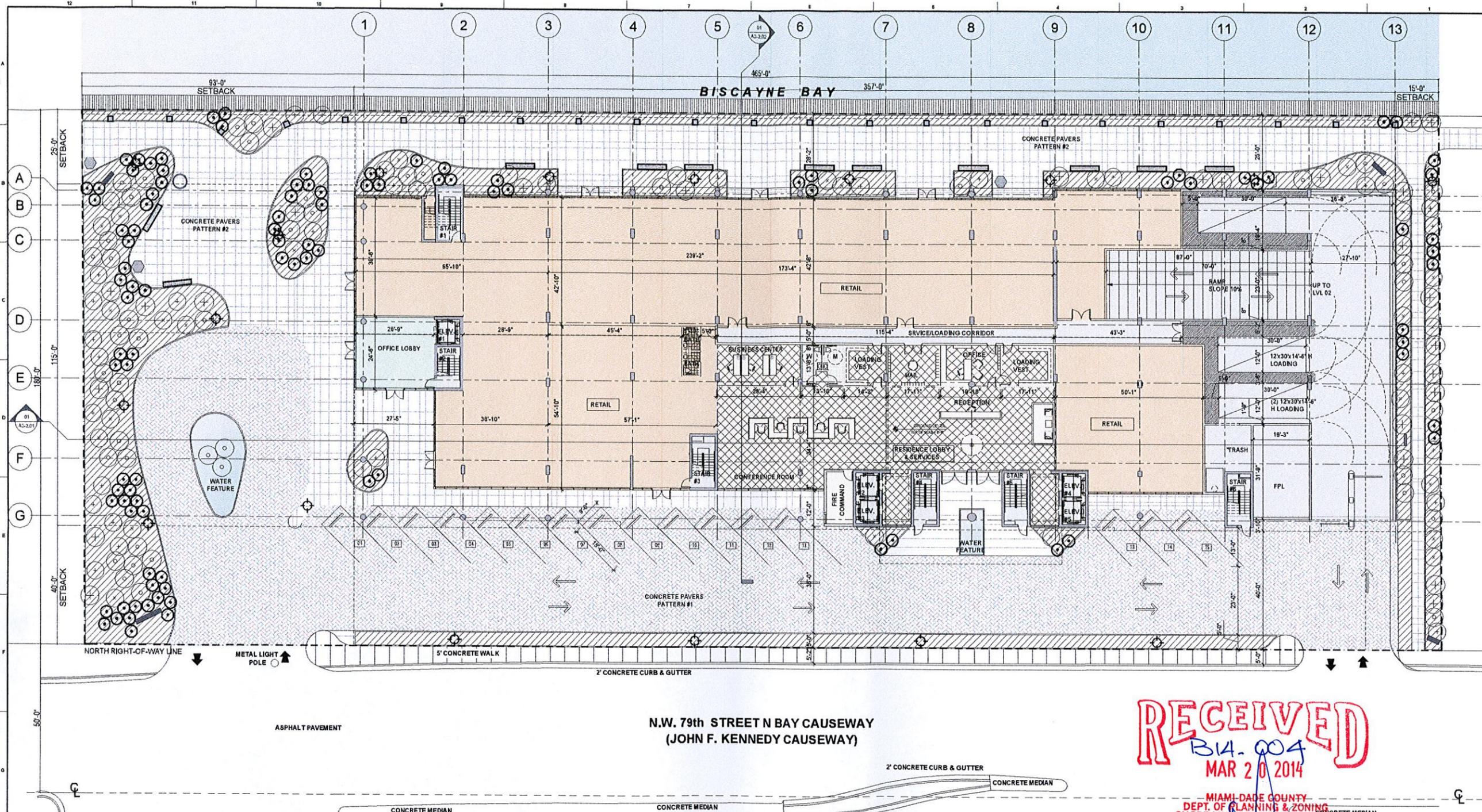
SIGNATURE:  
 ARTURO G. GRIEGO  
 LCP/ARB4011

SHEET TITLE:  
 GROUND LEVEL FLOOR PLAN

SCALE:  
 1/16" = 1'-0"

SHEET No.:

**A1-1.01**



**SOLAR REFLECTANCE INDEX LEGEND (NON-ROOF REQUIREMENTS):**

SYMBOL	KEY	AREA	AREA SQUARE FOOTAGE	SOLAR REFLECTION INDEX (%)	MATERIAL SOLAR REFLECTANCE
(A)	CONCRETE			22.8	.35
(B)	LANDSCAPE AREA			41	PERVIOUS
(C)	FINISHED WALKWAY AREA			24	.35
SOLAR REFLECTANCE COMPLIANCE				87.9	

**TERMITE PROTECTION:**  
 THE BUILDING HAS TO RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY.

**PARKING GARAGE VENTILATIONS**  
 THIS PARKING GARAGE COMPLIES WITH OPEN PARKING GARAGE DEFINITION F.B.C. 495.3.3.1

GROUND LEVEL FLOOR PLAN (LEVEL 0'-0")  
 PERIMETER WALL =  
 WALL HEIGHT =  
 WALL AREA =  
 20% WALL AREA =  
 OPENING AREA PROVIDED =

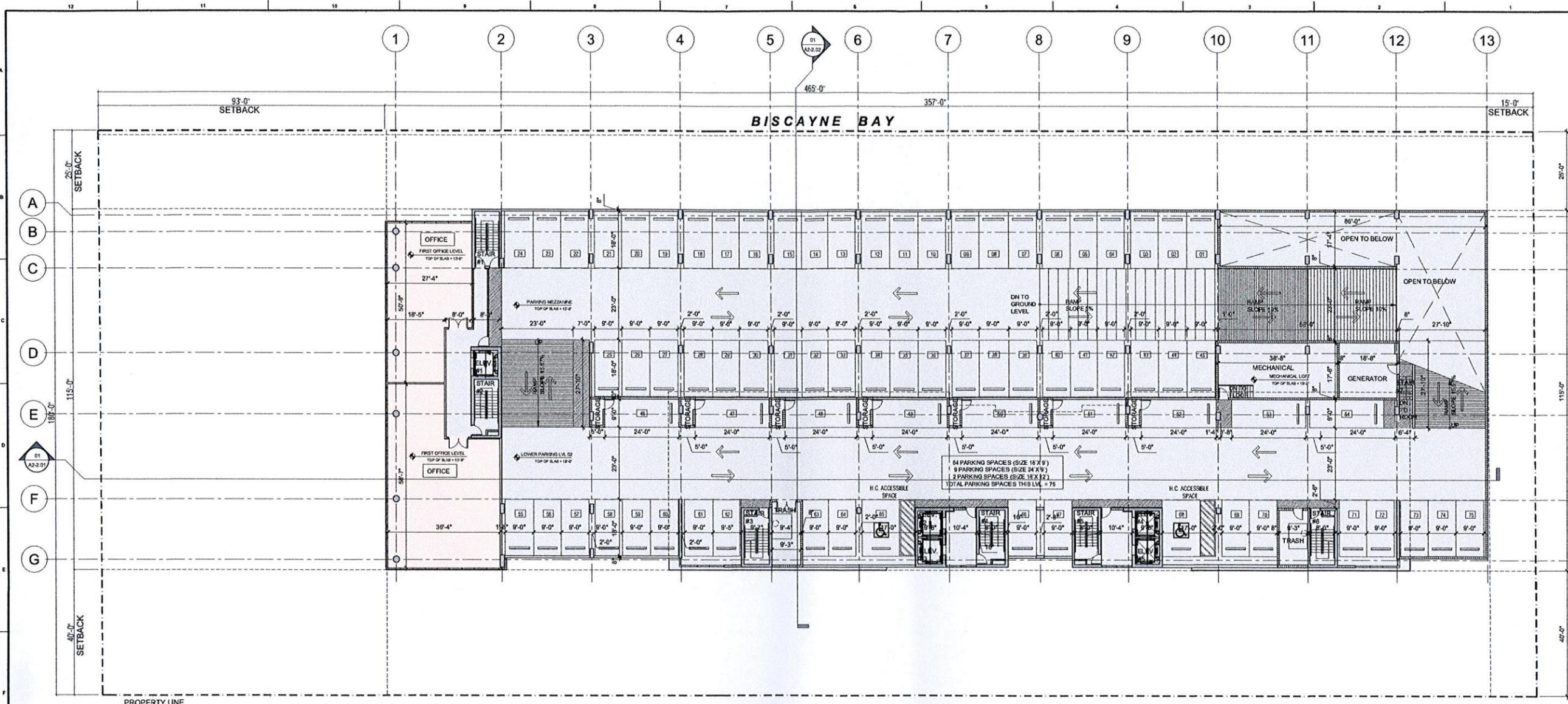
**WALL TYPE LEGEND**

1	WALL TYPE 1 TYPE 1 - 8" CMU WALL WITH INTERIOR FINISHING. SEE TYPE 1 WALL TYPE FOR DETAILS.	5	WALL TYPE 5 TYPE 5 - EXTERIOR FINISHING. SEE TYPE 5 WALL TYPE FOR DETAILS.
2	WALL TYPE 2 PERFORATED CONCRETE WALL. SEE TYPE 2 WALL TYPE FOR DETAILS.	6	WALL TYPE 6 TYPE 6 - EXTERIOR FINISHING. SEE TYPE 6 WALL TYPE FOR DETAILS.
3	WALL TYPE 3 TYPE 3 - EXTERIOR FINISHING. SEE TYPE 3 WALL TYPE FOR DETAILS.	7	WALL TYPE 7 TYPE 7 - EXTERIOR FINISHING. SEE TYPE 7 WALL TYPE FOR DETAILS.
4	WALL TYPE 4 TYPE 4 - EXTERIOR FINISHING. SEE TYPE 4 WALL TYPE FOR DETAILS.	8	WALL TYPE 8 TYPE 8 - EXTERIOR FINISHING. SEE TYPE 8 WALL TYPE FOR DETAILS.

**ELEVATION LEGEND & NOTES**

- 9'-0" = 13'-0" N.B. / D.
- ALL SHOP DRAWINGS REQUIRE APPROVAL FROM NORTH BAY VILLAGE. PROVIDE CLASS ABC FIRE EXTINGUISHER PER 25008.F, AND NOT TO EXCEED 75' BETWEEN EACH OTHER. SEE PLAN LOCATION SYMBOL. F.E. CONTRACTOR TO SUBMIT FLUSH MOUNT CABINET WITH SHGP DRAWINGS FOR ARCHITECTS APPROVAL.
- VEHICLE BARRIER SYSTEMS FOR PASSENGER CARS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 8,000 POUNDS (26.70 KN) APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIER SYSTEM AND SHALL HAVE ANCHORAGE OR ATTACHMENT CAPABLE OF TRANSMITTING THIS LOAD TO THE STRUCTURE. FOR DESIGN OF THE SYSTEM THE LOAD SHALL BE ASSUMED TO ACT AT A MINIMUM HEIGHT OF 1 FOOT, 6 INCHES ABOVE THE FLOOR OR RAMP SURFACE ON AN AREA NOT TO EXCEED 1 SQUARE FOOT. (IBC-1607.7.2) BUILDING IS FULLY SPRINKLERED.

**GROUND LEVEL FLOOR PL.**  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"



PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
 RESIDENTIAL DEVELOPMENT  
 1555 N BAY CAUSEWAY, MIAMI, FLORIDA, 33133

B Developments  
 1875 NW 56th Street  
 Miami, FL 33155  
 (305) 421-0880

Fernández Prieto & Asoc.  
 P.L.L.C.

ARCHITECT:  
**itec design**  
 1111 Lincoln Rd. suite 305 | Miami Beach, FL 33139  
 305 873 2121 | 305 873 4640  
 miami@itecdesign.net | www.itecdesign.net  
 8A0003394

CIVIL ENGINEERS  
**VSN Engineering**  
 info@vsng.com  
 8555 W Flagler St Miami, FL 33144  
 (305) 551-6267

LANDSCAPE  
**Matthew Lewis Studio**  
 mls@matthewlewisstudio.com  
 400 NW 20th St  
 Miami, FL 33127  
 305 417 9968

KEY PLAN:

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 03-20-2014  
 PROJECT No.: 1330  
 DRAWN BY: ME/AG APPROVED BY: AG

**RECEIVED**  
 B14-004  
 MAR 20 2014

MIAMI-DADE COUNTY  
 DEPT. OF PLANNING & ZONING  
 SHORE LINE DEV. REVIEW COMM.  
 BY \_\_\_\_\_

ALL DRAWING AND WRITTEN MATERIALS  
 HEREIN CONSTITUTE ORIGINAL WORK OF  
 THE ARCHITECT AND MAY ONLY BE  
 DUPLICATED WITH THEIR WRITTEN  
 CONSENT.

SEAL:  
  
 SIGNATURE:  
 ARTURO G. GRIEGO  
 LIC# ARS4011

MAR 20 2014

SHEET TITLE:  
 PARKING MEZZ. LVL.  
 AND 1ST OFFICE LVL.

SCALE:  
 1/16"=1'0"

SHEET No.:  
**A1-1.02**

itec design inc. 2014

WALL TYPE LEGEND	
1	WALL TYPE 1 TYPICAL 9" CMU WALL INTERIOR FINISH RENDERING. SEE TYPICAL WALL TYPES AND STRUCTURAL SHEET FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL SHEETS FOR DETAILS.
3	WALL TYPE 3 PART FINISHED INTERIOR 1/2" FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
4	WALL TYPE 4 TYPICAL INTERIOR PARTITION. NON-FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
5	WALL TYPE 5 TYPICAL 9" INTERIOR PARTITION. NON-FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
6	WALL TYPE 6 TYPICAL ONE-WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
7	WALL TYPE 7 TYPICAL SHAFR WALL 2-HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
8	WALL TYPE 8 TYPICAL VADABLE INTERIOR PARTITION. NON-FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.

ELEVATION LEGEND & NOTES	
1.	0'-0" = +9.0' NGVD.
2.	ALL SHOP DRAWINGS REQUIRE APPROVAL FROM NORTH BAY VILLAGE. PROVIDE "CLASS ABC" FIRE EXTINGUISHER PER 2500S.F. AND NOT TO EXCEED 75 BETWEEN EACH OTHER. SEE PLAN LOCATION SYMBOL. F.E. CONTRACTOR TO SUBMIT FLUSH MOUNT CABINET WITH SHOP DRAWINGS FOR ARCHITECTS APPROVAL.
3.	VEHICLE BARRIER SYSTEMS FOR PASSENGER CARS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 8,000 POUNDS (28.70 KN) APPLIED HORIZONTALLY IN ANY DIRECTION ON TO THE BARRIER SYSTEM AND SHALL HAVE ANCHORAGE OR ATTACHMENT CAPABLE OF TRANSMITTING THIS LOAD TO THE STRUCTURE. FOR DESIGN OF THE SYSTEM, THE LOAD SHALL BE ASSUMED TO ACT AT A MINIMUM HEIGHT OF 1 FOOT, 8 INCHES ABOVE THE FLOOR OR RAMP SURFACE ON AN AREA NOT TO EXCEED 1 SQUARE FOOT. (IBC-1007.7.3)
4.	BUILDING IS FULLY SPRINKLERED.

1 PARKING MEZZANINE LVL.  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"





**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 03-20-2014  
 PROJECT No.: 1330  
 DRAWN BY: ME/AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
 HEREIN CONSTITUTE ORIGINAL WORK OF  
 THE ARCHITECT AND MAY ONLY BE  
 DUPLICATED WITH THEIR WRITTEN  
 CONSENT.

SEAL:



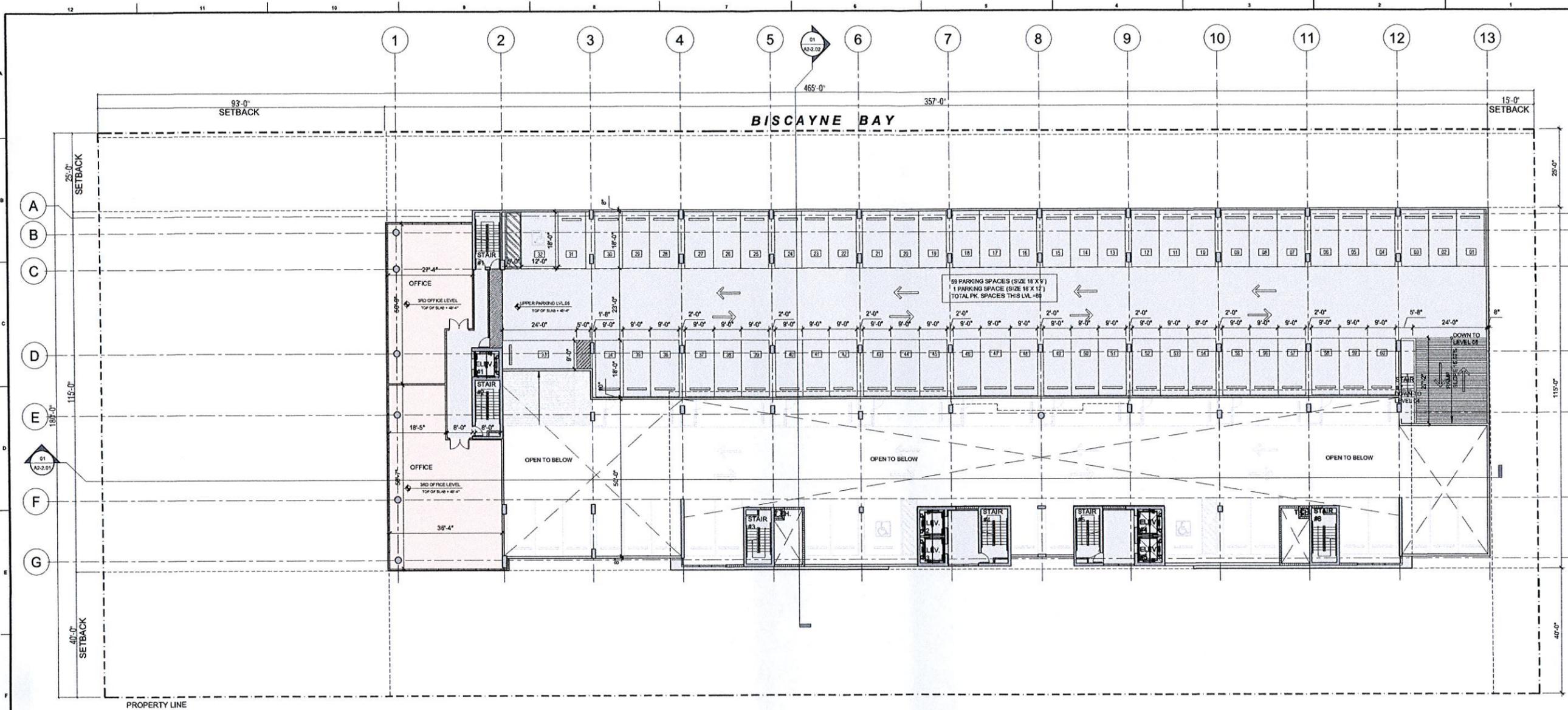
SIGNATURE:  
**ARTURO G. GRIECO**  
 LIC# ARS4011

SHEET TITLE:  
**LEVEL 05 - 3RD OFFICE  
 AND PARKING FL. PL.**

SCALE:  
 1/16" = 1'-0"

SHEET No.:

**A1-1.06**



**RECEIVED**  
 314-004  
 MAR 20 2014  
 MIAMI-DADE COUNTY  
 DEPT. OF PLANNING & ZONING  
 SHORE LINE REVIEW COMM.  
 BY \_\_\_\_\_

**WALL TYPE LEGEND**

1	WALL TYPE 1 TYPICAL 8" CMU WALL, ANCHOR BOLTS REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL CROSS FOR DETAILS.	5	WALL TYPE 5 TYPICAL 4" WINDOW PARTITION HORIZONTAL SEE TYPICAL WALL TYPES FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL CROSS FOR DETAILS.	6	WALL TYPE 6 TYPICAL CMU WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
3	WALL TYPE 3 UNIT Gypsum PARTITION 1/2" FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	7	WALL TYPE 7 TYPICAL SHAP WALL 1/2" FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
4	WALL TYPE 4 TYPICAL INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	8	WALL TYPE 8 THICK VARIABLE INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.

**ELEVATION LEGEND & NOTES**

- 0'-0" = +0.0' N.O.V.D.
- ALL SHOP DRAWINGS REQUIRE APPROVAL FROM NORTH BAY VILLAGE. PROVIDE "CLASS ABC" FIRE EXTINGUISHER PER 25005 F. AND NOT TO EXCEED 75' BETWEEN EACH OTHER. SEE PLAN LOCATION SYMBOL. F.E. CONTRACTOR TO SUBMIT FLUSH MOUNT CABINET WITH SHOP DRAWINGS FOR ARCHITECTS APPROVAL.
- VEHICLE BARRIER SYSTEMS FOR PASSENGER CARS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 6000 POUNDS (26.7 KN) APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIER SYSTEM AND SHALL HAVE ANCHORAGE OR ATTACHMENT CAPABLE OF TRANSMITTING THIS LOAD TO THE STRUCTURE. FOR DESIGN OF THE SYSTEM, THE LOAD SHALL BE ASSUMED TO ACT AT A MINIMUM HEIGHT OF 1 FOOT, 6 INCHES ABOVE THE FLOOR OR RAMP SURFACE ON AN AREA NOT TO EXCEED 1 SQUARE FOOT. (IBC-1607.7.3)
- BUILDING IS FULLY SPRINKLERED.

**1 LEVEL 05 FLOOR PLAN**  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"



ARCHITECT:

itec design



1111 Lincoln Rd. suite 305 | Miami Beach, FL 33139  
t 305 673 2121 f 305 673 4640  
e miami@itecdesign.net | w www.itecdesign.net  
#A00003394

STRUCTURAL ENGINEERS

MEP ENGINEERS

CIVIL ENGINEERS



MATTHEW LEWIS STUDIO  
LANDSCAPE ARCHITECTURE  
1111 LINCOLN RD. SUITE 305  
MIAMI BEACH, FL 33139  
TEL: 305.673.2121  
WWW.MLSTUDIO.COM

**PERMIT SET**

PERMIT APPLICATION DATE:

ISSUE DATE: 01-08-2014

PROJECT No.: 1330

DRAWN BY: ME/AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
HEREIN CONSTITUTE ORIGINAL WORK OF  
THE ARCHITECT AND MAY ONLY BE  
DUPLICATED WITH THEIR WRITTEN  
CONSENT.

SIGNATURE:



STEVEN TYLER NIELSEN

LIC # RL4 6667067

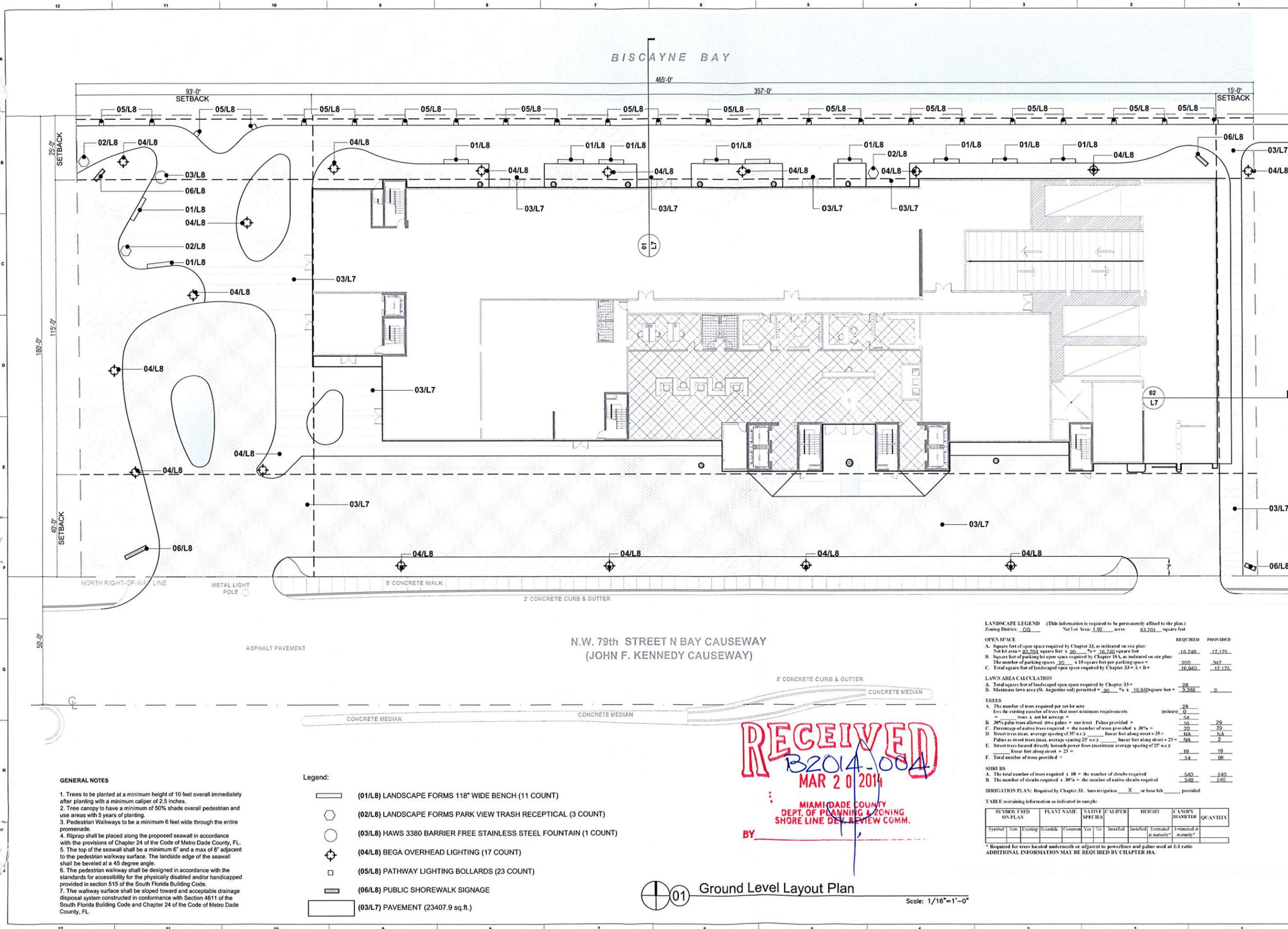
SHEET TITLE:  
**GROUND LEVEL  
Floor Plan "Layout Plan"**

SCALE:  
1/16"=1'-0"

SHEET No.:

**L1**

itec design inc. 2014



N.W. 79th STREET N BAY CAUSEWAY  
(JOHN F. KENNEDY CAUSEWAY)

LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan.)  
Zoning District: CG Net Lot Area: 1.92 acres 83,701 square feet

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 83,701 square feet x 20% = 16,740 square feet	16,740	17,175
B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan: The number of parking spaces = 200 x 10 square feet per parking space = 2,000	2,000	347
C. Total square feet of landscaped open space required by Chapter 33 = A + B =	16,940	17,175

LAWN AREA CALCULATION	REQUIRED	PROVIDED
A. Total square feet of landscaped open space required by Chapter 33 =	16,940	17,175
B. Maximum lawn area (St. Augustine sod) permitted = 20% x 16,940 square feet =	3,388	0

TREES	REQUIRED	PROVIDED
A. The number of trees required per net lot acre less the existing number of trees that meet minimum requirements = trees x net lot acreage =	28	0
B. 30% palm trees allowed (two palms = one tree) Palms provided =	16	29
C. Percentage of native trees required = the number of trees provided x 30% =	30	39
D. Street trees (max. average spacing of 35' o.c.) linear feet along street = 35 =	NA	NA
E. Street trees (max. average spacing 25' o.c.) linear feet along street = 25 =	NA	2
F. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.): linear feet along street = 25 =	19	19
F. Total number of trees provided =	54	98

SHRUBS	REQUIRED	PROVIDED
A. The total number of trees required x 10 = the number of shrubs required	540	540
B. The number of shrubs required x 30% = the number of native shrubs required	540	540

IRRIGATION PLAN: Required by Chapter 33. Auto-irrigation  or hose bib provided.

TABLE containing information as indicated in sample:

SYMBOL USED ON PLAN	PLANT NAME	NATIVE SPECIES	CAULIFER	HEIGHT	CANOPY DIAMETER	QUANTITY			
Symbol	New	Existing	Scientific	Common	Yes	No	Installed	Estimated at maturity*	Estimated at maturity*

\* Required for trees located underneath or adjacent to powerlines and palms used at 1:1 ratio  
ADDITIONAL INFORMATION MAY BE REQUIRED BY CHAPTER 18A.

- GENERAL NOTES**
- Trees to be planted at a minimum height of 10 feet overall immediately after planting with a minimum caliper of 2.5 inches.
  - Tree canopy to have a minimum of 50% shade overall pedestrian and use areas with 5 years of planting.
  - Pedestrian Walkways to be a minimum 6 feet wide through the entire promenade.
  - Riprap shall be placed along the proposed seawall in accordance with the provisions of Chapter 24 of the Code of Metro Dade County, FL.
  - The top of the seawall shall be a minimum 6" and a max of 8" adjacent to the pedestrian walkway surface. The landside edge of the seawall shall be beveled at a 45 degree angle.
  - The pedestrian walkway shall be designed in accordance with the standards for accessibility for the physically disabled and/or handicapped provided in section 515 of the South Florida Building Code.
  - The walkway surface shall be sloped toward and acceptable drainage disposal system constructed in conformance with Section 4611 of the South Florida Building Code and Chapter 24 of the Code of Metro Dade County, FL.

- Legend:**
- (01/L8) LANDSCAPE FORMS 118" WIDE BENCH (11 COUNT)
  - (02/L8) LANDSCAPE FORMS PARK VIEW TRASH RECEPTICAL (3 COUNT)
  - (03/L8) HAWS 3380 BARRIER FREE STAINLESS STEEL FOUNTAIN (1 COUNT)
  - (04/L8) BEGA OVERHEAD LIGHTING (17 COUNT)
  - (05/L8) PATHWAY LIGHTING BOLLARDS (23 COUNT)
  - (06/L8) PUBLIC SHOREWALK SIGNAGE
  - (03/L7) PAVEMENT (23407.9 sq.ft.)

**01** Ground Level Layout Plan  
Scale: 1/16"=1'-0"

ARCHITECT:

itec design



1111 Lincoln Rd. suite 305 | Miami Beach, FL 33139  
 t 305 673 2121 f 305 673 4640  
 e miami@itecdesign.net | w www.itecdesign.net  
 #AA0003394

STRUCTURAL ENGINEERS

MEP ENGINEERS

CIVIL ENGINEERS

LANDSCAPE



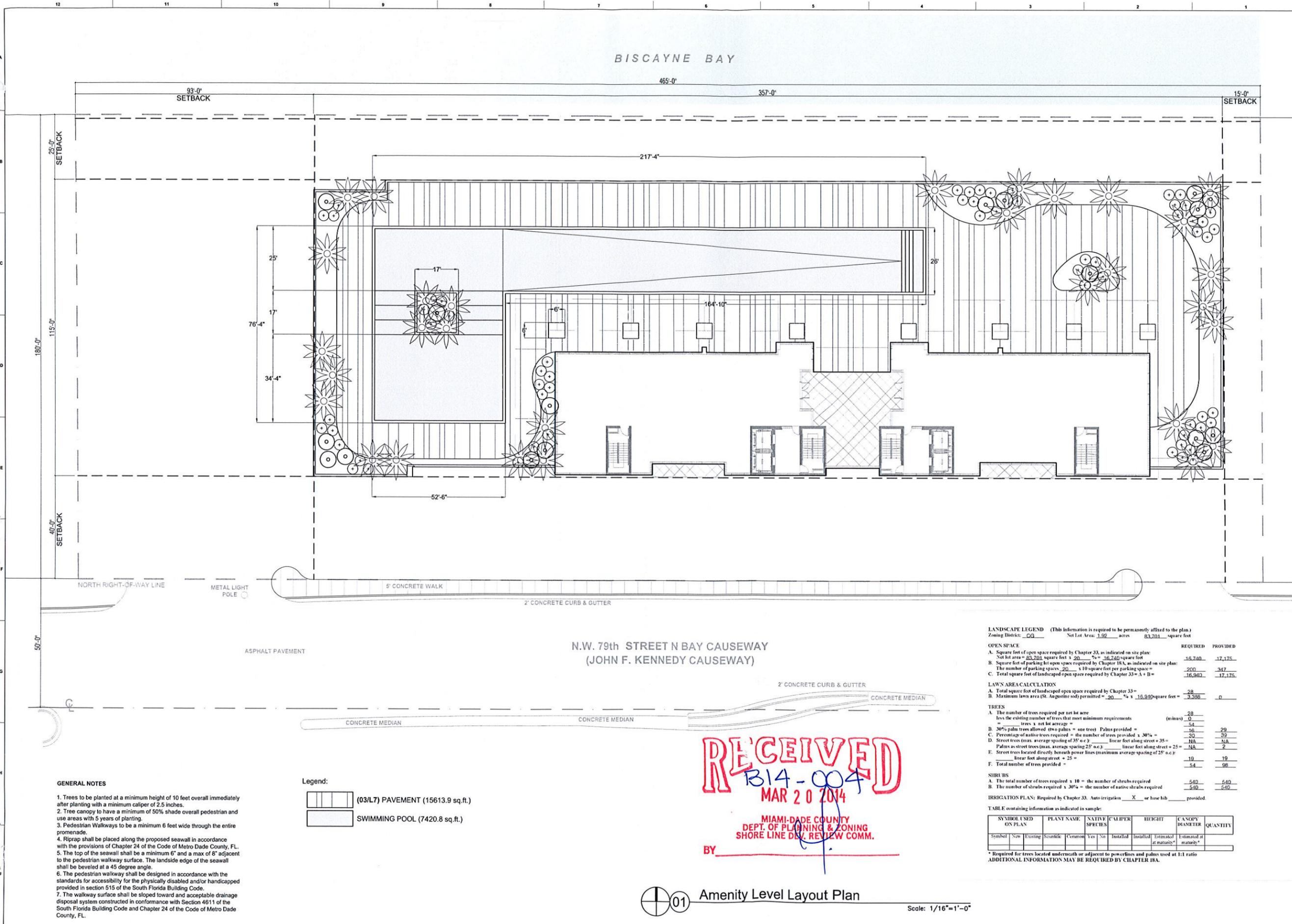
MATTHEW LEWIS STUDIO

1111 Lincoln Rd. Suite 305  
 Miami Beach, FL 33139  
 Tel: 305.673.2121

www.mlewisstudio.com

LANDSCAPE ARCHITECT

FLORIDA LICENSE # 100000000



GENERAL NOTES

- Trees to be planted at a minimum height of 10 feet overall immediately after planting with a minimum caliper of 2.5 inches.
- Tree canopy to have a minimum of 50% shade overall pedestrian and use areas with 5 years of planting.
- Pedestrian Walkways to be a minimum 6 feet wide through the entire promenade.
- Riprap shall be placed along the proposed seawall in accordance with the provisions of Chapter 24 of the Code of Metro Dade County, FL.
- The top of the seawall shall be a minimum 6" and a max of 8" adjacent to the pedestrian walkway surface. The landside edge of the seawall shall be beveled at a 45 degree angle.
- The pedestrian walkway shall be designed in accordance with the standards for accessibility for the physically disabled and/or handicapped provided in section 515 of the South Florida Building Code.
- The walkway surface shall be sloped toward and acceptable drainage disposal system constructed in conformance with Section 4611 of the South Florida Building Code and Chapter 24 of the Code of Metro Dade County, FL.

Legend:

- (03/L7) PAVEMENT (15613.9 sq.ft.)
- SWIMMING POOL (7420.8 sq.ft.)

LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan.)

SYMBOL USED ON PLAN	PLANT NAME	NATIVE SPECIES	CALIPER	HEIGHT	CANOPY DIAMETER	QUANTITY			
Symbol	Existing	Scarcity	Common	Yes	No	Installed	Installed	Estimated at maturity*	Estimated at maturity*

OPEN SPACE  
 A. Square feet of open space required by Chapter 33, as indicated on site plan:  
 Net lot area = 83,701 square feet x 20% = 16,740 square feet  
 B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan:  
 The number of parking spaces = 200 x 10 square feet per parking space = 2,000  
 C. Total square feet of landscaped open space required by Chapter 33 = A + B = 16,940

LAWN AREA CALCULATION  
 A. Total square feet of landscaped open space required by Chapter 33 = 16,940  
 B. Maximum lawn area (St. Augustine sod) permitted = 20% x 16,940 square feet = 3,388

TREES	REQUIRED	PROVIDED
A. The number of trees required per net lot acre less the existing number of trees that meet minimum requirements (trees x net lot acreage) =	28	0
B. 30% palm trees allowed (two palms = one tree) Palms provided =	54	29
C. Percentage of native trees required = the number of trees provided x 30% =	30	59
D. Street trees (max. average spacing of 35' o.c.) Linear feet along street + 35' =	NA	NA
E. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.):	NA	2
F. Total number of trees provided =	19	19
	54	98

SHRUBS  
 A. The total number of trees required x 10 = the number of shrubs required = 540  
 B. The number of shrubs required x 30% = the number of native shrubs required = 540

IRRIGATION PLAN: Required by Chapter 33. Auto irrigation  or hose bib  provided

TABLE containing information as indicated in sample:

SYMBOL USED ON PLAN	PLANT NAME	NATIVE SPECIES	CALIPER	HEIGHT	CANOPY DIAMETER	QUANTITY			
Symbol	Existing	Scarcity	Common	Yes	No	Installed	Installed	Estimated at maturity*	Estimated at maturity*

\* Required for trees located underneath or adjacent to powerlines and palms used at 1:1 ratio  
 ADDITIONAL INFORMATION MAY BE REQUIRED BY CHAPTER 18A.

**RECEIVED**  
 B14-004  
 MAR 20 2014  
 MIAMI-DADE COUNTY  
 DEPT. OF PLANNING & ZONING  
 SHORE LINE DIV. REVIEW COMM.  
 BY \_\_\_\_\_

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SEAL:

SIGNATURE:  
 STEVEN TYLER NIELSEN  
 LIC # FLA 6667067

SHEET TITLE:  
 AMENITY LEVEL  
 Floor Plan "Layout Plan"

SCALE:  
 1/16"=1'0"

SHEET No.:  
 L2

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 01-08-2014  
 PROJECT No.: 1330  
 DRAWN BY: ME/JAG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
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 CONSENT.

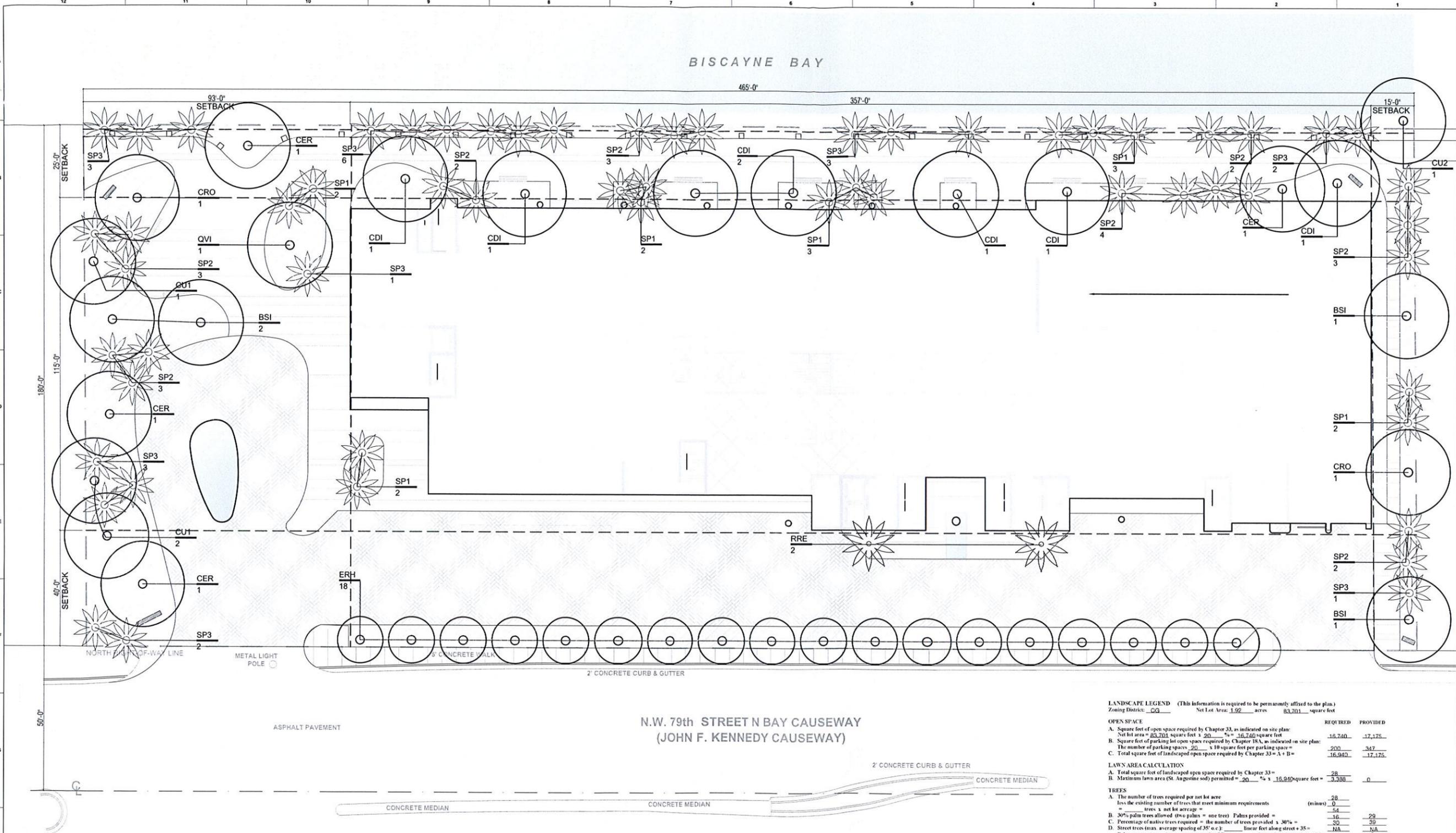
SEAL:  


SIGNATURE:  
 STEVEN TYLER NIELSEN  
 LIC # FLA 6667067

SHEET TITLE:  
 GROUND LEVEL  
 Floor Plan "Trees Plan"

SCALE:  
 1/16"=1'-0"

SHEET No.:  
**L3**  
 itec design inc. 2014



N.W. 79th STREET N BAY CAUSEWAY  
 (JOHN F. KENNEDY CAUSEWAY)

LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan.)  
 Zoning District: GQ Net Lot Area: 1.92 acres 83,701 square feet

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 83,701 square feet x 20% = 16,740 square feet	16,740	17,175
B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan: The number of parking spaces = 200 x 10 square feet per parking space =	2,000	347
C. Total square feet of landscaped open space required by Chapter 33 = A + B =	16,940	17,175

LAWN AREA CALCULATION	REQUIRED	PROVIDED
A. Total square feet of landscaped open space required by Chapter 33 =	28	0
B. Maximum lawn area (St. Augustine sod) permitted = 20% x 16,940 square feet =	3,388	0

TREES	REQUIRED	PROVIDED
A. The number of trees required per net lot acre less the existing number of trees that meet minimum requirements = trees x net lot acreage =	28	0
B. 30% palm trees allowed (five palms = one tree) Palms provided =	16	29
C. Percentage of native trees required = the number of trees provided x 30% =	30	39
D. Street trees (max. average spacing of 35' o.c.): linear feet along street + 35 =	NA	NA
E. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.): linear feet along street + 25 =	NA	2
F. Total number of trees provided =	19	19
	54	98

SHRUBS	REQUIRED	PROVIDED
A. The total number of trees required x 10 = the number of shrubs required	540	540
B. The number of shrubs required x 30% = the number of native shrubs required	540	540

IRRIGATION PLAN: Required by Chapter 33. Auto irrigation  or hose bib provided

TABLE containing information as indicated in sample:

SYMBOL USED ON PLAN	PLANT NAME	NATIVE SPECIES	CALIPER		HEIGHT	CANOPY DIAMETER	QUANTITY			
			Yes	No						
Symbol	New	Existing	Scientific	Common	Yes	No	Installed	Installed	Estimated at maturity*	Estimated at maturity*

\* Required for trees located underneath or adjacent to powerlines and palms used at 1:1 ratio  
 ADDITIONAL INFORMATION MAY BE REQUIRED BY CHAPTER 18A.

**TREE & PALM SCHEDULE - 85% NATIVE PLANTING**

ID	Symbol	Plant Name	Common Name	Quantity	Notes
18	ERH	EUGENIA RHOMBEA	RED STOPPER	45 GAL., 10-12' OA, 4" CAL MIN.	
4	BSI	BURSERA SIMARUBA	GUMBO LIMBO	FG, 18'-24' OA, 4" CAL. MIN.	
2	CRO	CLUSIA ROSEA	PITCH APPLE	SPECIMEN, 16'-22' OA.	
3	CU1	COCCOLOBA UVIFERA	SEA GRAPE	SPECIMEN, MULTI-TRUNK, 20'-30' OA.	
1	CU2	COCCOLOBA UVIFERA	SEA GRAPE	200 GAL., 16'-18' OA.	
4	CER	CONOCARPUS ERECTUS	GREEN BUTTWOOD	FG, 18'-20' OA, 4" CAL. MIN.	
7	CDI	PIGEON PLUM	COCCOLOBA DIVERSIFOLIA	200 GALLON 18-20' OA 3" CAL MIN	
14	SP1	SABAL PALMETTO	CABBAGE PALM	SPECIMEN, CURVE TRUNK, 20'-24' OA.	
22	SP2	SABAL PALMETTO	CABBAGE PALM	SPECIMEN, CURVE TRUNK, 25'-30' OA.	
21	SP3	SABAL PALMETTO	CABBAGE PALM	SPECIMEN, CURVE TRUNK, 31'-35' OA.	
2	RRE	ROYSTONEA REGIA	ROYAL PALM	20'-24' GW MIN.	

**RECEIVED**  
 B14-004  
 MAR 20 2014

MIAMI-DADE COUNTY  
 DEPT. OF PLANNING & ZONING  
 SHORE LINE DEV. REVIEW COMM.  
 BY: \_\_\_\_\_

- NOTES:
- All trees, palms, shrubs, groundcover or other plant materials shall conform to the standards for Florida #1 or better as defined in part 1 and part 2 of grades and standards for nursery plants.
  - Miami Dade County minimum landscape and certification requirements apply.
  - No substitution of plant material specifications, type or size shall be accepted without written approval of the landscape architect.
  - Trees planted in shoreline provide minimum 40% shade canopy.

ARCHITECT:  
**itec design**  
 1111 Lincoln Rd. suite 305 | Miami Beach, FL 33139  
 t 305 673 2121 f 305 673 4640  
 e miami@itecdesign.net | w www.itecdesign.net #AA0003394

STRUCTURAL ENGINEERS:  
 MEP ENGINEERS:  
 CIVIL ENGINEERS:

LANDSCAPE  
**ML**  
 MATTHEW LEWIS STUDIO  
 1111 LINCOLN RD. SUITE 305 MIAMI BEACH, FL 33139  
 T 305 673 2121 F 305 673 4640  
 E MIAAMI@ITECDESIGN.NET

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 01-08-2014  
 PROJECT No.: 1330  
 DRAWN BY: ME/AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
 HEREIN CONSTITUTE ORIGINAL WORK OF  
 THE ARCHITECT AND MAY ONLY BE  
 DUPLICATED WITH THEIR WRITTEN  
 CONSENT.

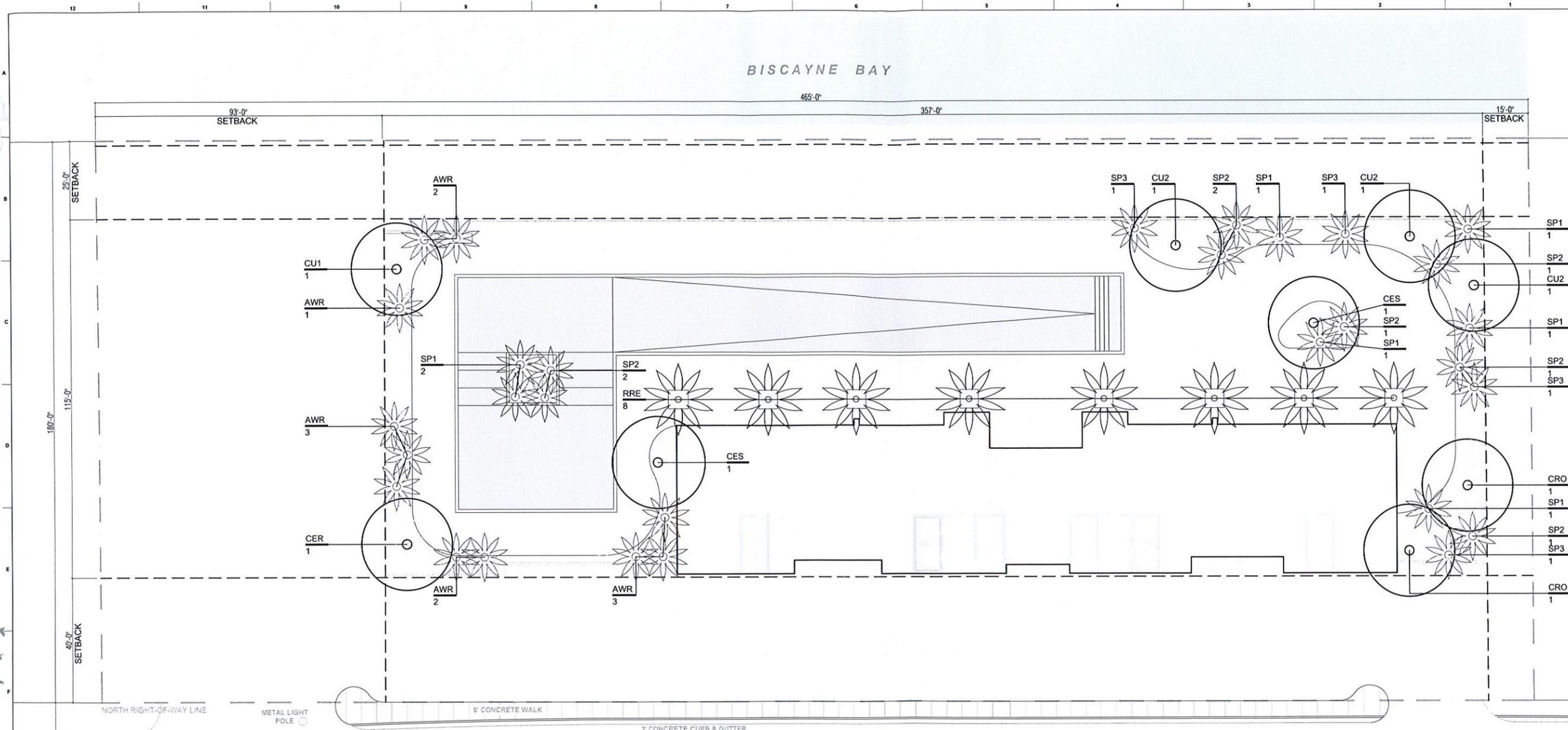


SIGNATURE:  
 STEVEN TYLER NIELSEN  
 LIC # RLA 6667067

SHEET TITLE:  
**AMENITY LEVEL  
 Floor Plan "Trees Plan"**

SCALE:  
**1/16"=1'-0"**

SHEET No.:  
**L4**  
 itec design inc. 2014



N.W. 79th STREET N BAY CAUSEWAY  
 (JOHN F. KENNEDY CAUSEWAY)

LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan.)  
 Zoning District: CG Net Lot Area: 1.92 acres 83,701 square feet

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 83,701 square feet x 20% = 16,740 square feet	16,740	17,175
B. Square feet of parking lot open space required by Chapter 33A, as indicated on site plan: The number of parking spaces = 200 x 10 square feet per parking space = 2,000	2,000	347
C. Total square feet of landscaped open space required by Chapter 33 = A + B =	16,940	17,175

LAWN AREA CALCULATION	REQUIRED	PROVIDED
A. Total square feet of landscaped open space required by Chapter 33 =	28	0
B. Maximum lawn area (St. Augustine sod) permitted = 20% x 16,940 square feet =	3,388	0

TREES	REQUIRED	PROVIDED
A. The number of trees required per net lot acre less the existing number of trees that meet minimum requirements =	28	0
— trees x net lot acreage =	54	29
B. 30% palm trees allowed (two palms = one tree) Palms provided =	16	29
C. Percentage of native trees required = the number of trees provided x 30% =	32	29
D. Street trees (max. average spacing of 35' o.c.) linear feet along street + 35 =	NA	NA
— Palms as street trees (max. average spacing 25' o.c.) linear feet along street + 25 =	NA	2
E. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.) linear feet along street + 25 =	19	19
F. Total number of trees provided =	54	66

SHRUBS	REQUIRED	PROVIDED
A. The total number of trees required x 10 = the number of shrubs required	540	540
B. The number of shrubs required x 30% = the number of native shrubs required	540	540

IRRIGATION PLAN: Required by Chapter 33. Auto irrigation  or hose bib provided

TABLE containing information as indicated in sample:

SYMBOL USED ON PLAN	PLANT NAME		NATIVE SPECIES		CALIPER		HEIGHT	CANOPY DIAMETER	QUANTITY
	Scientific	Common	Yes	No	Installed	Estimated at maturity <sup>1</sup>			
Symbol	Existing	Scientific	Common	Yes	No	Installed	Estimated at maturity <sup>1</sup>	Estimated at maturity <sup>1</sup>	

<sup>1</sup> Required for trees located underneath or adjacent to powerlines and palms used at 1:1 ratio  
 ADDITIONAL INFORMATION MAY BE REQUIRED BY CHAPTER 18A.



**TREE & PALM SCHEDULE - 85% NATIVE PLANTING**

ID	BSI	BURSERIA SIMARUBA	GUMBO LIMBO	FG, 18'-24' OA, 4" CAL. MIN.	NATIVE
2	CRO	CLUSIA ROSEA	PITCH APPLE	SPECIMEN, 16'-22' OA.	NATIVE
1	CU1	COCOLOBA UVIFERA	SEA GRAPE	SPECIMEN, MULTI-TRUNK, 20'-30' OA.	NATIVE
3	CU2	COCOLOBA UVIFERA	SEA GRAPE	200 GAL., 16'-18' OA.	NATIVE
1	CER	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	FG, 18'-20' OA, 4" CAL. MIN.	NATIVE
1	CDI	PIGEON PLUM	COCOLOBA DIVERSIFOLIA	200 GALLONG 18-20' OA 3" CAL MIN	NATIVE
11	AWR	ACOELORRHAPHE WRIGHTII	PAUROTIS PALM	FG, 16'-20' OA.	NATIVE
6	SP1	SABAL PALMETTO	CABBAGE PALM	SPECIMEN, CURVE TRUNK, 20'-24' OA.	NATIVE
8	SP2	SABAL PALMETTO	CABBAGE PALM	SPECIMEN, CURVE TRUNK, 25'-30' OA.	NATIVE
4	SP3	SABAL PALMETTO	CABBAGE PALM	SPECIMEN, CURVE TRUNK, 31'-35' OA.	NATIVE
8	RRE	ROYSTONEA REGIA	ROYAL PALM	20'-24' GW MIN.	NATIVE

- NOTES:
- All trees, palms, shrubs, groundcover or other plant materials shall conform to the standards for Florida #1 or better as defined in part 1 and part 2 of grades and standards for nursery plants.
  - Miami Dade County minimum landscape and certification requirements apply.
  - No substitution of plant material specifications, type or size shall be accepted without written approval of the landscape architect.
  - Trees planted in shoreline provide minimum 40% shade canopy.

**PERMIT SET**

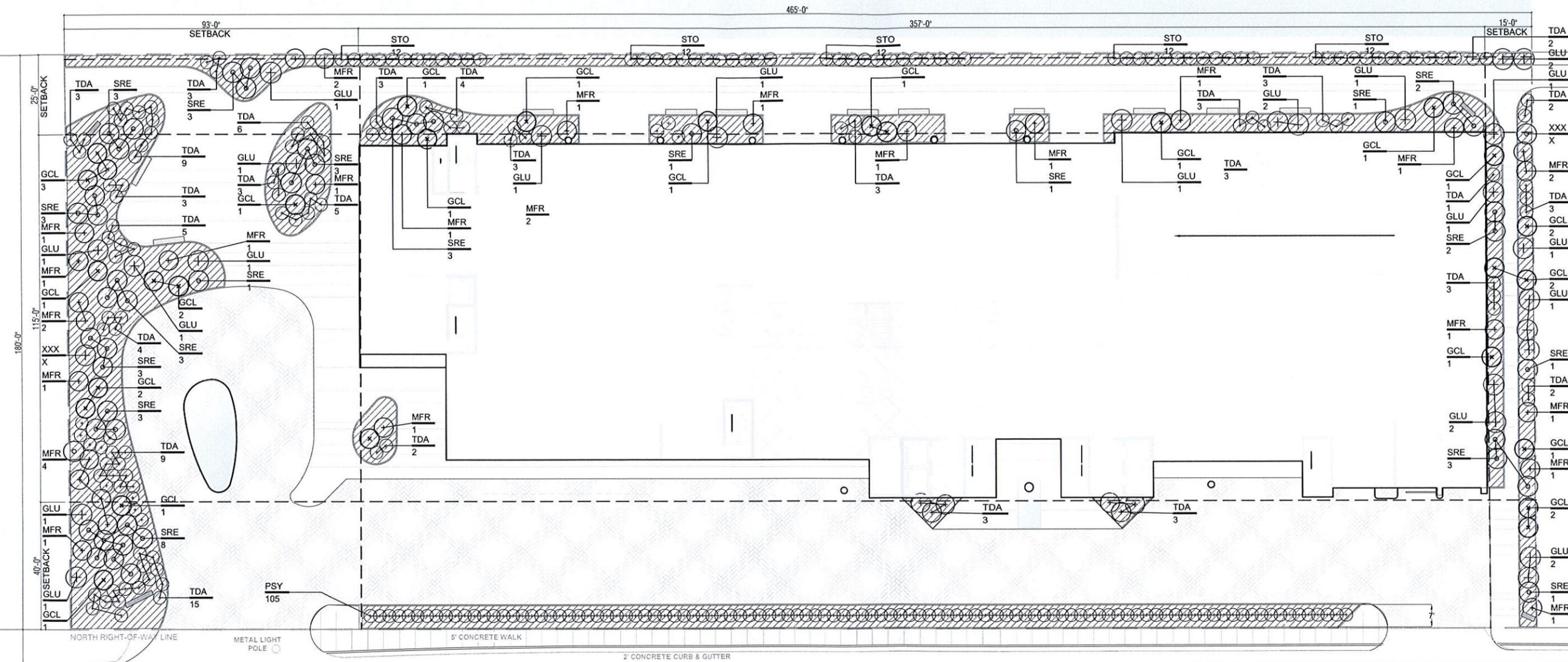
PERMIT APPLICATION DATE:  
 ISSUE DATE: 01-08-2014  
 PROJECT No.: 1330  
 DRAWN BY: ME/AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SEAL:  
  
 SIGNATURE:  
 STEVEN TYLER NIELSEN  
 LIC # RL6667067

SHEET TITLE:  
**GROUND LEVEL**  
 Floor Plan "Shrubs Plan"  
 SCALE:  
**1/16"=1'-0"**  
 SHEET No.:  
**L5**  
 itec design inc. 2014

BISCAYNE BAY



N.W. 79th STREET N BAY CAUSEWAY  
 (JOHN F. KENNEDY CAUSEWAY)

LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan.)  
 Zoning District: CG Net Lot Area: 1.92 acres 83,701 square feet

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area - 23,701 square feet x 20% = 4,740 square feet	16,740	17,175
B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan: The number of parking spaces: 200 x 10 square feet per parking space =	2,000	347
C. Total square feet of landscaped open space required by Chapter 33 = A + B =	18,940	17,175

LAWN AREA CALCULATION	REQUIRED	PROVIDED
A. Total square feet of landscaped open space required by Chapter 33 =	20	0
B. Maximum lawn area (84. Aquatic sod) permitted = 20% x 16,940 square feet =	3,388	0

TREES	REQUIRED	PROVIDED
A. The number of trees required per net lot acre less the existing number of trees that meet minimum requirements (minus) =	28	0
B. 30% palm trees allowed (two palms = one tree) Palms provided =	16	29
C. Percentage of native trees required = the number of trees provided x 30% =	30	59
D. Street trees (max. average spacing of 35' o.c.) linear feet along street + 35 =	NA	NA
E. Palms as street trees (max. average spacing 25' o.c.) linear feet along street + 25 =	NA	2
F. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.) linear feet along street + 25 =	19	19
F. Total number of trees provided =	54	98

SHRUBS	REQUIRED	PROVIDED
A. The total number of trees required x 10 = the number of shrubs required	540	540
B. The number of shrubs required x 30% = the number of native shrubs required	540	540

IRRIGATION PLAN: Required by Chapter 33. Auto irrigation  or hose bib provided.

TABLE E containing information as indicated in sample:

SYMBOL USED ON PLAN	PLANT NAME	NATIVE SPECIES	CALIPER	HEIGHT	CANOPY SPREAD	QUANTITY			
Symbol	Existing	Scientific	Common	Yes	No	Installed	Installed	Estimated at maturity*	Estimated at maturity*

\* Required for trees located underneath or adjacent to powerlines and palms used at 1:1 ratio  
 ADDITIONAL INFORMATION MAY BE REQUIRED BY CHAPTER 18A.

SHURBS SCHEDULE - 100% NATIVE PLANTING

12448.0 sq ft.	ELI	Ernodea littoralis	Golden Creeper	3 Gallon	NATIVE
111	TDA	Tripsacum dactyloides	Fakahatchee Grass	7 Gallon, 18" ht. min 30" O.C. max.	NATIVE
47	SRE	Serenoa repens	Silver Saw Palmetto	15 Gallon, 18" ht. min 30" O.C. max.	NATIVE
28	MFR	Myrcianthes fragrans	Simpson Stopper	4-6' 60 Gallon, 36" ht. min. 48" O.C. max.	NATIVE
26	GLU	Gymnanthes lucida	Crabwood	4-6' 60 Gallon, 36" ht. min. 48" O.C. max.	NATIVE
28	GCL	Genipa clusifolia	7 Year Apple	4-6' 60 Gallon, 36" ht. min. 48" O.C. max.	NATIVE
105	PNE	Psychotria nervosa	Wild Coffee	7 Gallon, 18" ht. min 30" O.C. max.	NATIVE
47	STO	Sophora tomentosa	Necklace Pond	7 Gallon, 18" ht. min 30" O.C. max.	NATIVE

NOTES:  
 1. All trees, palms, shrubs, groundcover or other plant materials shall conform to the standards for Florida #1 or better as defined in part 1 and part 2 of grades and standards for nursery plants.  
 2. Miami Dade County minimum landscape and certification requirements apply.  
 3. No substitution of plant material specifications, type or size shall be accepted without written approval of the landscape architect.

**RECEIVED**  
 314-004  
 MAR 20 2014  
 MIAMI DADE COUNTY  
 DEPT. OF PLANNING & ZONING  
 SHORE LINE REVIEW COMM.  
 BY \_\_\_\_\_

**01** Ground Level Shrubs Plan  
 Scale: 1/16"=1'-0"

ARCHITECT:  
**itec design**  
 1111 Lincoln Rd. suite 305 | Miami Beach, FL 33139  
 t 305 673 2121 f 305 673 4640  
 e miami@itedesign.net | w www.itedesign.net  
 #AAD003394

STRUCTURAL ENGINEERS:  
 MEP ENGINEERS:  
 CIVIL ENGINEERS:

LANDSCAPE:  
**ML**  
 MATTHEW LEWIS STUDIO  
 1111 LINCOLN RD. SUITE 305  
 MIAMI BEACH, FL 33139  
 T 305 673 2121

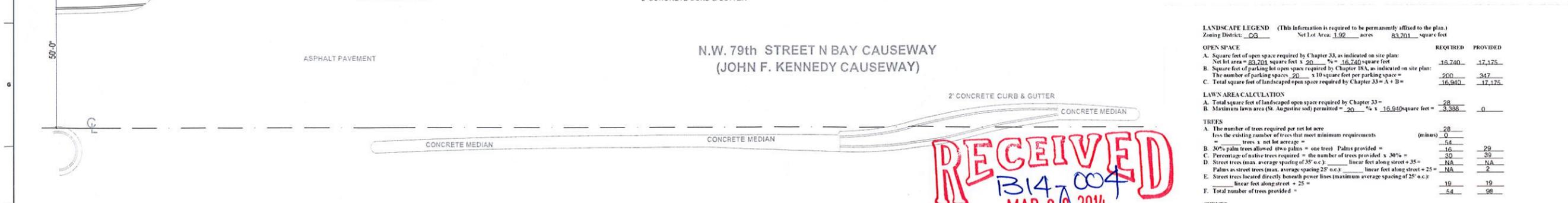
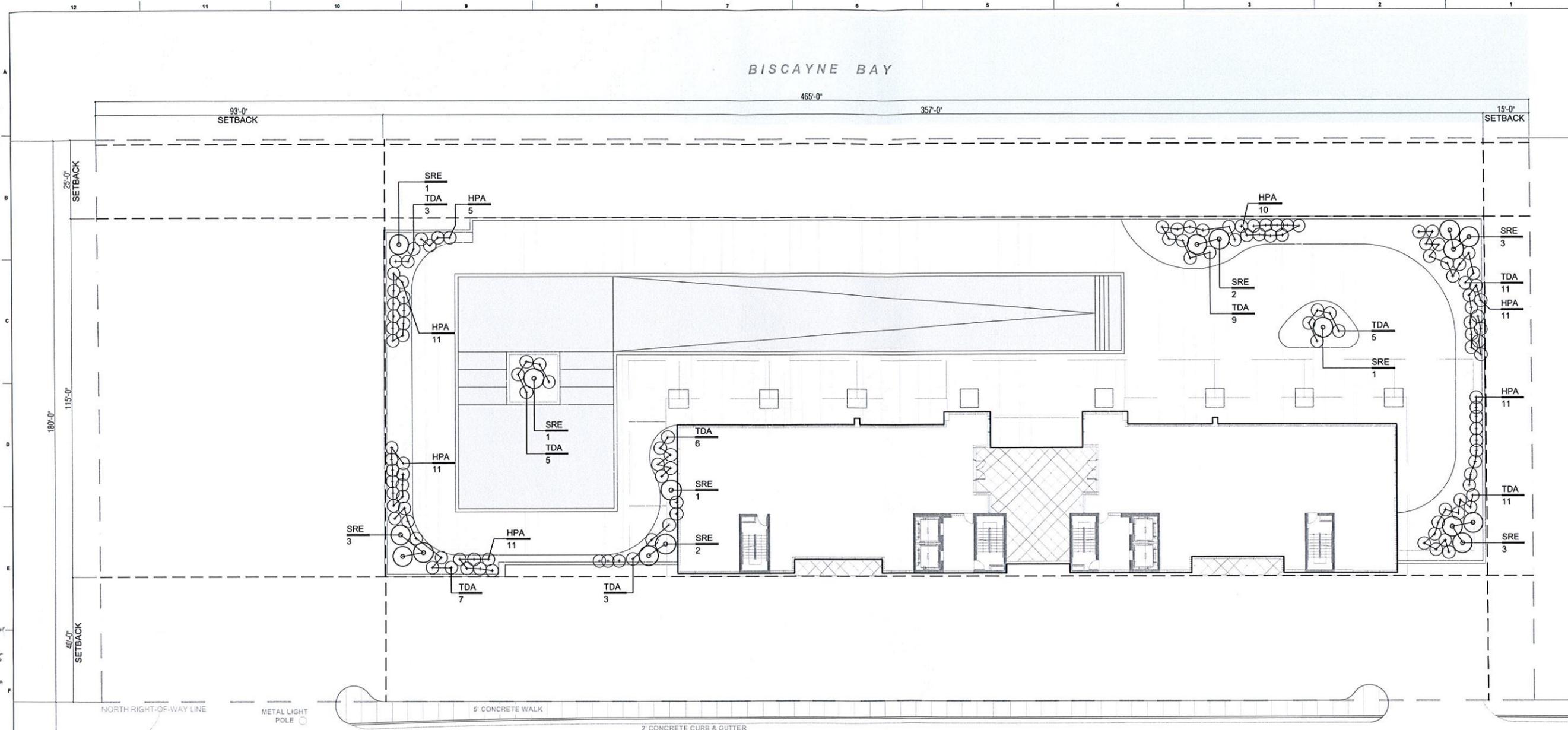
**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 01-08-2014  
 PROJECT No.: 1330  
 DRAWN BY: ME/AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
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 CONSENT.

SIGNATURE:  
**STEVEN TYLER NIELSEN**  
 LIC # FLA 6667057

SHEET TITLE:  
**AMENITY LEVEL**  
 Floor Plan "Shrubs Plan"  
 SCALE:  
**1/16"=1'-0"**  
 SHEET No.:  
**L6**  
 itec design inc. 2014



**SHURBS SCHEDULE - 100% NATIVE PLANTING**

Quantity	Code	Common Name	Scientific Name	Plant Size	Notes	Native
4672.1 sq. ft.	ELI	Golden Creeper	<i>Emodea littoralis</i>	3 Gallon		NATIVE
61	TDA	Fakahatchee Grass	<i>Tripsacum dactyloides</i>	7 Gallon, 18" ht. min. 30" O.C. max.		NATIVE
17	SRE	Silver Saw Palmetto	<i>Serenoa repens</i>	15 Gallon, 36" ht. min. 48" O.C. max.		NATIVE
70	HPA	Firebush	<i>Hamelia patens</i>	7 Gallon, 18" ht. min. 30" O.C. max.		NATIVE

NOTES:

- All trees, palms, shrubs, groundcover or other plant materials shall conform to the standards for Florida #1 or better as defined in part 1 and part 2 of grades and standards for nursery plants.
- Miami Dade County minimum landscape and certification requirements apply.
- No substitution of plant material specifications, type or size shall be accepted without written approval of the landscape architect.

**01** Amenity Level Shrubs Plan  
 Scale: 1/16"=1'-0"



**LANDSCAPE LEGEND** (This information is required to be permanently affixed to the plan.)  
 Zoning District: CG Net Lot Area: 1.92 acres 83,701 square feet

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 83,701 square feet x 20% = 16,740 square feet	16,740	17,175
B. Square feet of parking lot open space required by Chapter 33, as indicated on site plan: The number of parking spaces = 200 x 10 square feet per parking space =	200	347
C. Total square feet of landscaped open space required by Chapter 33 = A + B =	16,940	17,175

LAWN AREA CALCULATION	REQUIRED	PROVIDED
A. Total square feet of landscaped open space required by Chapter 33 =	28	0
B. Maximum lawn area (St. Augustine sod) permitted = 20% x 16,940 square feet =	3,388	0

TREES	REQUIRED	PROVIDED
A. The number of trees required per net lot acre less the existing number of trees that meet minimum requirements =	28	0
— trees x net lot acreage =	54	29
B. 30% palm trees allowed (two palms = one tree) Palms provided =	16	29
C. Percentage of native trees required = the number of trees provided x 30% =	32	32
D. Street trees (max. average spacing of 35' o.c.): linear feet along street + 35 =	NA	NA
Palms as street trees (max. average spacing 25' o.c.): linear feet along street + 25 =	NA	2
E. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.): linear feet along street + 25 =	19	19
F. Total number of trees provided =	54	98

SHRUBS	REQUIRED	PROVIDED
A. The total number of trees required x 10 = the number of shrubs required	540	540
B. The number of shrubs required x 30% = the number of native shrubs required	540	540

IRRIGATION PLAN: Required by Chapter 33. Auto-irrigation  or hose bib provided.

TABLE containing information as indicated in sample:

SYMBOL USED ON PLAN	PLANT NAME	NATIVE SPECIES	CALIPER	HEIGHT	CANOPY DIAMETER	QUANTITY					
Symbol	New	Existing	Scientific	Common	Yes	No	Installed	Installed	Estimated at maturity <sup>1</sup>	Estimated at maturity <sup>1</sup>	

<sup>1</sup> Required for trees located underneath or adjacent to powerlines and palms used at 1:1 ratio  
 ADDITIONAL INFORMATION MAY BE REQUIRED BY CHAPTER 33A.

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 01-08-2014  
 PROJECT No.: 1330  
 DRAWN BY: ME/AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
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 CONSENT.

SEAL:  

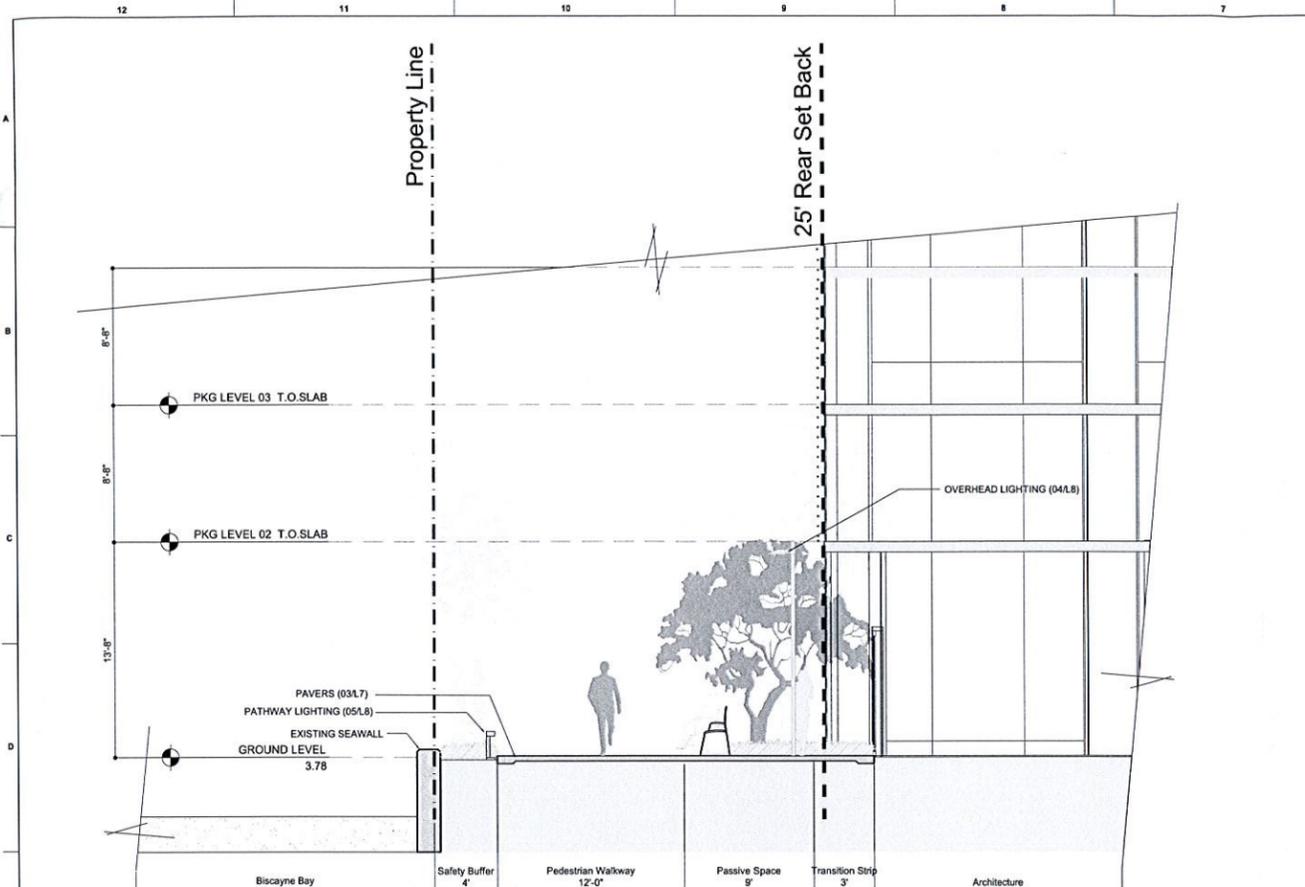

SIGNATURE:  
 STEVEN TYLER NIELSEN  
 LIC # RLA 6667067

SHEET TITLE:  
 GROUND LEVEL  
 Sections

SCALE:  
 1/16"=1'0"

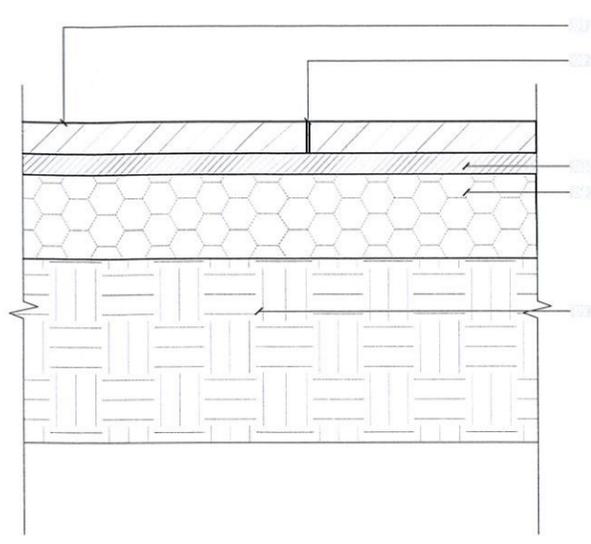
SHEET No.:

**L7**  
 itec design inc. 2014



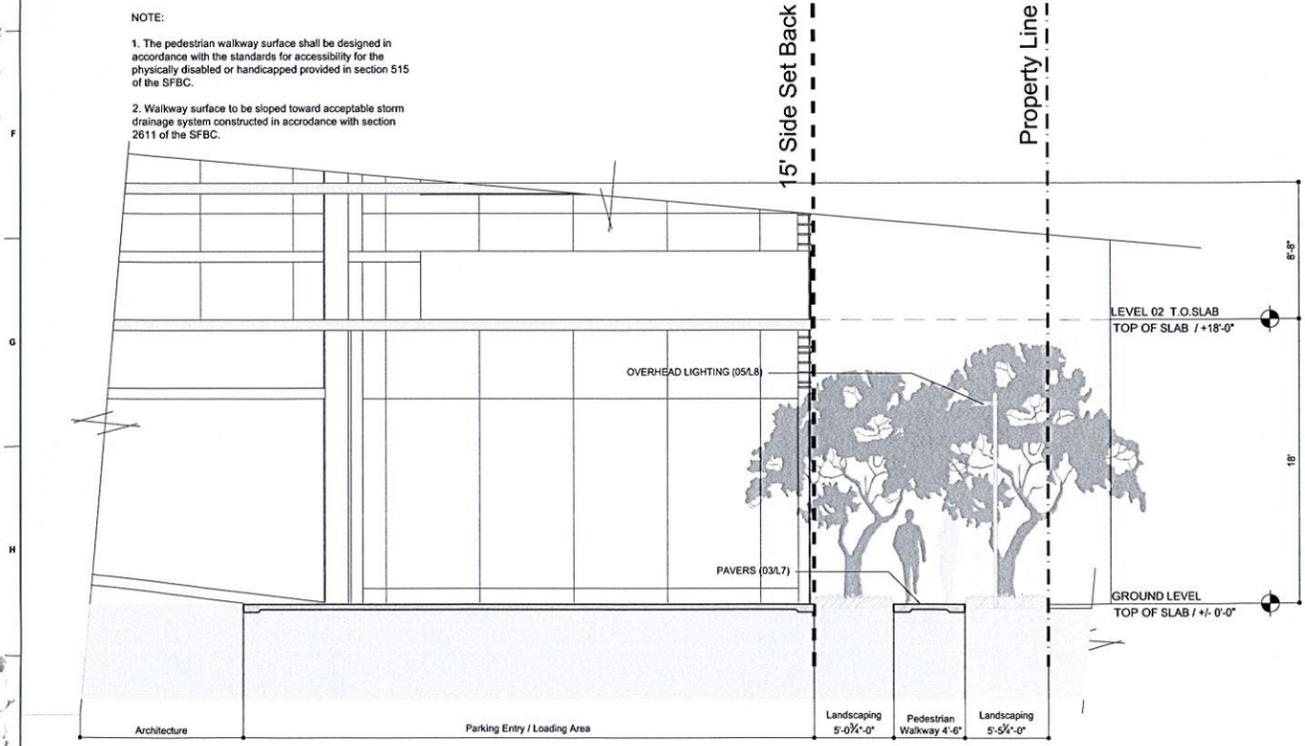
01 Section A-A

Scale: 3/16"=1'-0"



03 Pavement Section

Scale: 3"=1'-0"



02 Section B-B

Scale: 3/16"=1'-0"

**RECEIVED**  
 BIA-004  
 MAR 20 2014  
 MIAMI DADE COUNTY  
 DEPT. OF PLANNING & ZONING  
 SHORE LINE DEV. REVIEW COMM.  
 BY \_\_\_\_\_

N.S.

ARCHITECT:



1111 Lincoln Rd. suite 305 | Miami Beach, FL 33139  
 t 305 673 2121 f 305 673 4640  
 e miami@itedesign.net | w www.itedesign.net  
 #AA0003394

STRUCTURAL ENGINEERS

MEP ENGINEERS

CIVIL ENGINEERS

LANDSCAPE



PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 01-08-2014

PROJECT No.: 1330

DRAWN BY: MEAG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
 HEREIN CONSTITUTE ORIGINAL WORK OF  
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 DUPLICATED WITH THEIR WRITTEN  
 CONSENT.

SEAL:



SIGNATURE:  
 STEVEN TYLER NIELSEN  
 LIC # RLA 6667067

SHEET TITLE:  
 GROUND LEVEL  
 Cut Sheets

SCALE:  
 1/16"=1'0"

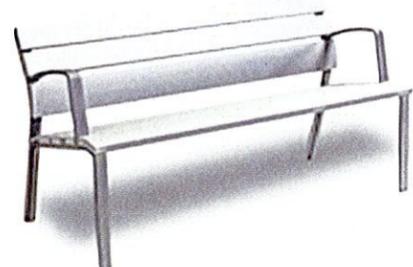
SHEET No.:

**L8**

itec design inc. 2014

**Product Specifications**

**neocombo** Aluminum bench available backed or backless, in three lengths. Available free-standing, surface mounted or embedded.



NECOMBO BENCH WITH BACKING, 48" x 18" x 36" (L x W x H) WITH SEAT CUSHION



The Haws trash receptacle is a thoughtful design with a touch of class. It reveals the wire mesh top for easy access to the interior and gives the trash can a sleek face. Designed with a rounded, cylindrical mesh body and a curved, tapered top. The result is a trash can that is both functional and beautiful. Available in a variety of finishes and colors. The mesh can be used with a clear plastic trash bag or a black mesh trash bag. The trash can is also available with a clear plastic trash bag that allows you to see the trash inside. The trash can is also available with a black mesh trash bag that allows you to see the trash inside. The trash can is also available with a clear plastic trash bag that allows you to see the trash inside.



HAWS TRASH RECEPTACLE, 23" x 36" (L x W) WITH SEAT CUSHION

**Haws 3380G, Barrier-Free, Galvanized Steel Pedestal Drinking Fountain with Satin Finish and Stainless Steel Bowl**



**Model 3380G Description**

Haws pedestal drinking fountain 3380G uses a patented stainless steel push-button valve assembly (Pat. 5,981,692) allowing for front access stream adjustment as well as cartridge and strainer access. The fashionable, barrier-free design of the 3380G allows the circular pedestal to be placed securely in multiple locations without taking up excess space. Equipped with vandal resistant components, this fountain is not easily disrupted, quickly discouraging the worst of vandals.

- Heavy-duty 11 gauge thick steel with galvanized finish provides an exceptional corrosion resistance in one of our toughest made fountains
- 100% lead-free waterways
- Maintenance is made easy with front access to valve adjustment and cartridge replacement

Model meets all current Federal Regulations for the disabled including those in the Americans with Disabilities Act. Haws manufactures drinking fountains and electric water coolers to be lead-free by all known definitions including NSF/ANSI Standard 61, Section 9, California Proposition 65, and the Federal Safe Drinking Water Act. Products compliant to California Health and Safety Code 116875 (AE 1993).

**Buy America Act Information**

The vast majority of Haws products qualify under the terms of the act. However, since different purchases often require subtle different responses, Haws recommends that the specific document requesting certification be sent to customer service for a specific answer.

**Industry Standards Compliant**



Haws 3380G Drinking Fountain - Solid Steel

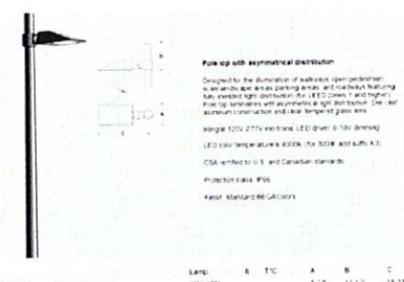
http://www.prodinkingfountains.com/

Category Five Technologies, Inc.  
 DBA: ProDrinkingFountains.com  
 39201 Schoolcraft Rd

01 118" Neocombo Backed Bench

02 Trash Receptical 23"x36" Top-opening

03 Steel Fountain



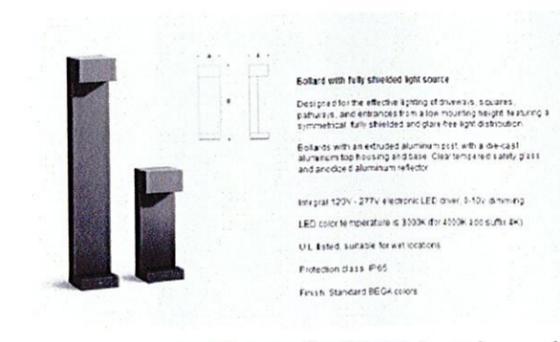
**118"LED** Single Neocombo  
 Pole-top with asymmetrical distribution  
 Designed for the distribution of ambient open performance in an outdoor area parking areas and walkways featuring full-spectrum light distribution (4000K color temperature). Pole-top assemblies with asymmetrical light distribution. One set aluminum construction and one tempered glass lens.  
 Integral 120V-277V electronic LED driver (5-10V dimming)  
 LED color temperature 3000K (for 3000K) and 4000K (4K)  
 CSA certified to UL and Canadian standards  
 Protection class IP65  
 Finish: Standard BEGA colors



**21"LED** Single Neocombo  
 Pole-top with symmetrical distribution  
 Designed for the effective lighting of driveways, squares, paths and entrances from a low mounting height featuring a symmetrical, fully shielded and glare-free light distribution.  
 Bollards with an extruded aluminum post with a die-cast aluminum top housing and glass. Clear tempered safety glass and anodized aluminum reflector.  
 Integral 120V-277V electronic LED driver (5-10V dimming)  
 LED color temperature 3000K (for 3000K) and 4000K (4K)  
 UL Listed, suitable for wet locations  
 Protection class IP65  
 Finish: Standard BEGA colors

Contact Information  
 BEGA US 1000 BEGA Way, Carpinteria, CA 93013 P 805 584 0533  
 F 805 664 6662 info@bega-us.com

04 Overhead Lighting and Pole



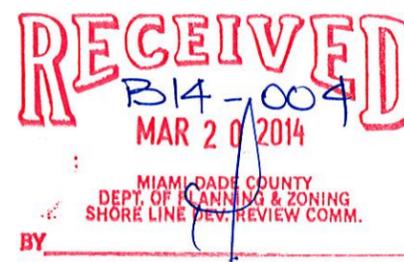
**21"LED** Single Neocombo  
 Pole-top with symmetrical distribution  
 Designed for the effective lighting of driveways, squares, paths and entrances from a low mounting height featuring a symmetrical, fully shielded and glare-free light distribution.  
 Bollards with an extruded aluminum post with a die-cast aluminum top housing and glass. Clear tempered safety glass and anodized aluminum reflector.  
 Integral 120V-277V electronic LED driver (5-10V dimming)  
 LED color temperature 3000K (for 3000K) and 4000K (4K)  
 UL Listed, suitable for wet locations  
 Protection class IP65  
 Finish: Standard BEGA colors

Contact Information  
 BEGA US 1000 BEGA Way, Carpinteria, CA 93013 P 805 584 0533  
 F 805 664 6662 info@bega-us.com

05 21" Height Pathway Lighting Bollard



06 Shoreline Signage



ARCHITECT:

iltec design

1111 Lincoln Rd. suite 305 | Miami Beach, FL 33139

305 673 2121 f 305 673 4640

miami@iltecdesign.net | www.iltecdesign.net

#AAD003394

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

CIVIL ENGINEERS:

LANDSCAPE

ML

MATTHEW LEWIS STUDIO

1111 LINCOLN RD. SUITE 305 MIAMI BEACH, FL 33139

305.673.2121

305.673.4640

miami@iltecdesign.net

www.iltecdesign.net

#AAD003394

**PERMIT SET**

PERMIT APPLICATION DATE:

ISSUE DATE: 01-08-2014

PROJECT No.: 1330

DRAWN BY: ME/AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SEAL:



SIGNATURE:  
STEVEN TYLER NIELSEN  
LIC # RLA 6667067

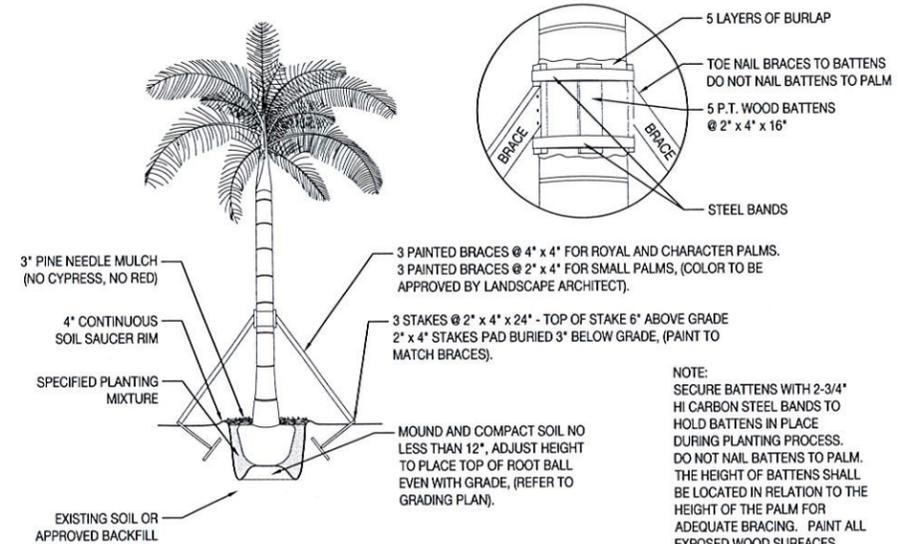
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PLANTING DETAILS

SCALE:  
3/32" = 1'0"

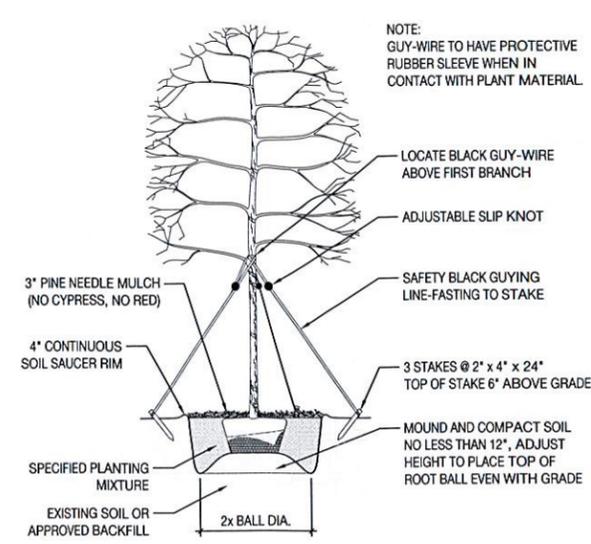
SHEET No.:

**L9**

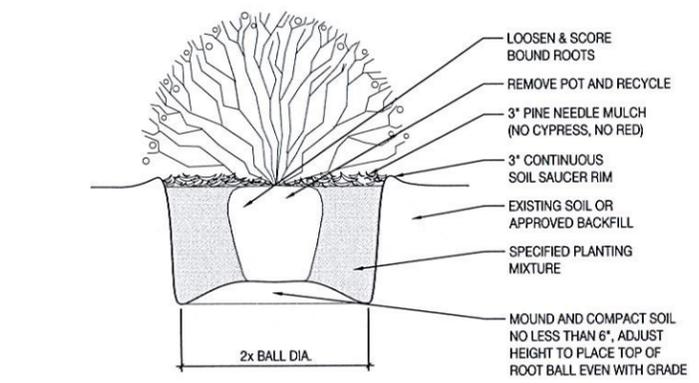
iltec design inc. 2014



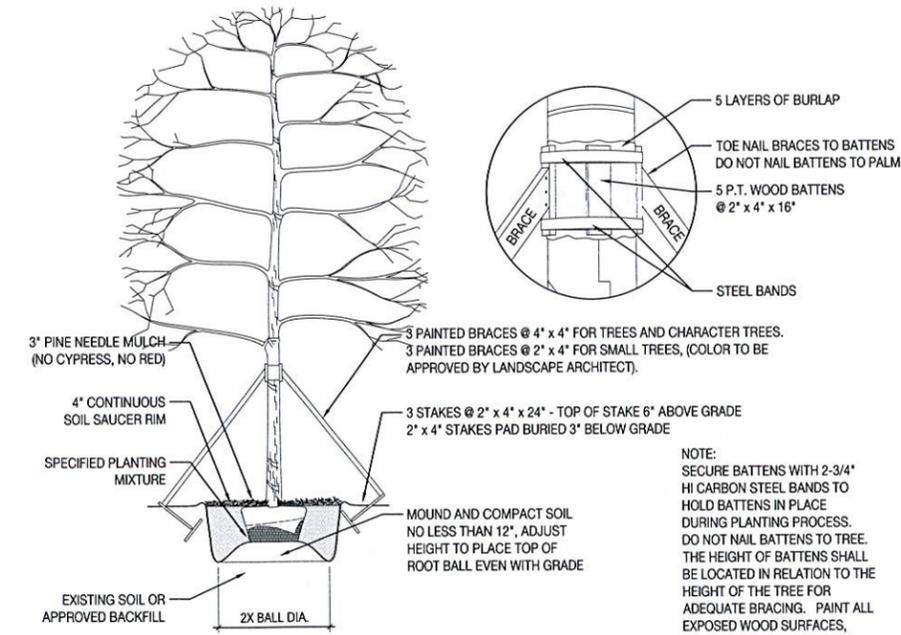
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SCALE: 3/32" = 1'-0"



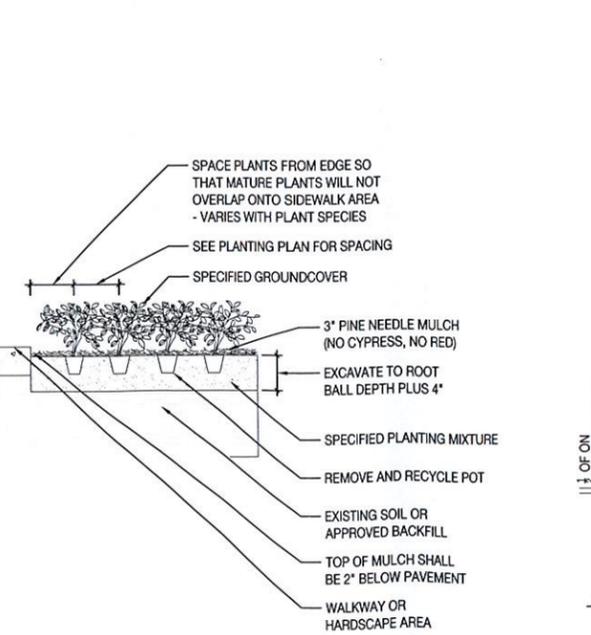
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SCALE: 3/32" = 1'-0"



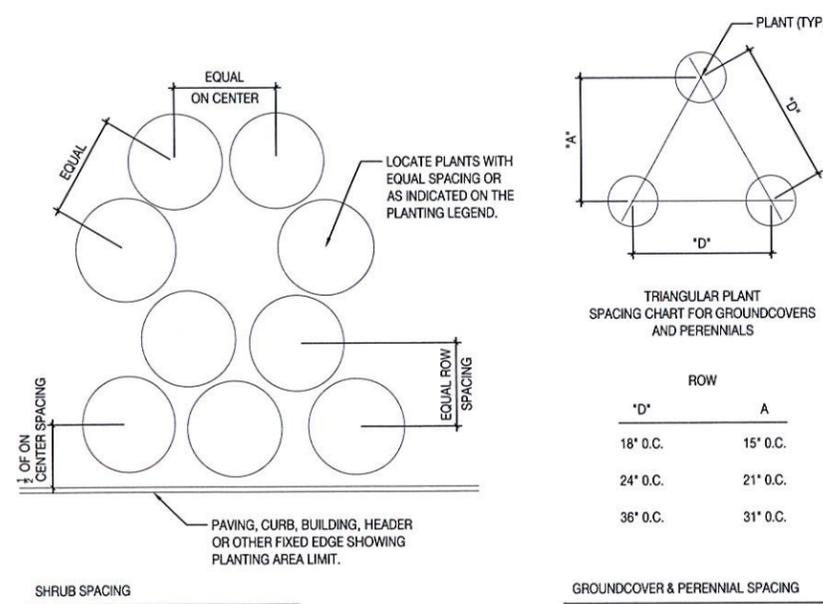
**3 SHRUB PLANTING DETAIL**  
SCALE: 3/32" = 1'-0"



**4 TREE PLANTING AND STAKING DETAIL**  
SCALE: 3/32" = 1'-0"



**5 GROUND COVER PLANTING DETAIL**  
SCALE: 3/32" = 1'-0"



**6 PLANT & SHRUB SPACING DETAIL**  
SCALE: 3/32" = 1'-0"

ARCHITECT:  
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STRUCTURAL ENGINEERS:

MEP ENGINEERS:

CIVIL ENGINEERS:



**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 01-08-2014  
 PROJECT No.: 1330  
 DRAWN BY: ME/AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
 HEREIN CONSTITUTE ORIGINAL WORK OF  
 THE ARCHITECT AND MAY ONLY BE  
 DUPLICATED WITH THEIR WRITTEN  
 CONSENT.



SIGNATURE:  
 STEVEN TYLER NIELSEN  
 LIC # RLA 6667067

SHEET TITLE:  
 LANDSCAPE LEGEND

SCALE:  
 3/32" = 1'0"

SHEET No.:  
**L10**  
 itec design inc. 2014

LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan.)  
 Zoning District: CG Net Lot Area: 1.92 acres 83,701 square feet

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = <u>83,701</u> square feet x <u>20</u> % = <u>16,740</u> square feet	<u>16,740</u>	<u>17,175</u>
B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan: The number of parking spaces <u>20</u> x 10 square feet per parking space =	<u>200</u>	<u>347</u>
C. Total square feet of landscaped open space required by Chapter 33 = A + B =	<u>16,940</u>	<u>17,175</u>

LAWN AREA CALCULATION

A. Total square feet of landscaped open space required by Chapter 33 =	<u>28</u>	
B. Maximum lawn area (St. Augustine sod) permitted = <u>20</u> % x <u>16,940</u> square feet =	<u>3,388</u>	<u>0</u>

TREES

A. The number of trees required per net lot acre less the existing number of trees that meet minimum requirements = <u>          </u> trees x net lot acreage =	(minus) <u>0</u>	
	<u>54</u>	
B. 30% palm trees allowed (two palms = one tree) Palms provided =	<u>16</u>	<u>29</u>
C. Percentage of native trees required = the number of trees provided x 30% =	<u>30</u>	<u>99</u>
D. Street trees (max. average spacing of 35' o.c.): <u>          </u> linear feet along street ÷ 35 =	<u>NA</u>	<u>NA</u>
Palms as street trees (max. average spacing 25' o.c.): <u>          </u> linear feet along street ÷ 25 =	<u>NA</u>	<u>2</u>
E. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.): <u>          </u> linear feet along street ÷ 25 =	<u>19</u>	<u>19</u>
F. Total number of trees provided =	<u>54</u>	<u>98</u>

SHRUBS

A. The total number of trees required x 10 = the number of shrubs required	<u>540</u>	<u>540</u>
B. The number of shrubs required x 30% = the number of native shrubs required	<u>540</u>	<u>540</u>

IRRIGATION PLAN: Required by Chapter 33. Auto irrigation X or hose bib            provided.

TABLE containing information as indicated in sample:

SYMBOL USED ON PLAN			PLANT NAME		NATIVE SPECIES		CALIPER		HEIGHT			CANOPY DIAMETER	QUANTITY
Symbol	New	Existing	Scientific	Common	Yes	No	Installed	Installed	Estimated at maturity*	Estimated at maturity*			

\* Required for trees located underneath or adjacent to powerlines and palms used at 1:1 ratio  
 ADDITIONAL INFORMATION MAY BE REQUIRED BY CHAPTER 18A.

