

# NORTH BAY VILLAGE II MIXED-USE DEVELOPMENT

1555 N BAY CAUSEWAY | NORTH BAY VILLAGE FLORIDA 33141



PROJECT AND OWNER:

## NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:

itecdesign



architecture + design

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#AA0003394

CIVIL ENGINEERS:

VSN Engineering  
leo@vseng.com  
8550 W Flagler St Miami, FL 33144  
(305) 551-6267

LANDSCAPE:

Matthew Lewis Studio  
mcl@matthewlewisstudio.com  
400 NW 26th St  
Miami, FL 33127  
305.417.9968

KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 04-09-2014

PROJECT No.: 1330

DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
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THE ARCHITECT AND MAY ONLY BE  
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CONSENT.

SEAL:



SIGNATURE:

ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:

COVER SHEET

SCALE:

N.T.S.

SHEET No.:

# G-0

itec design inc. 2014

DEVELOPER:



B Developments  
1870 NW South River Dr  
Miami, FL 33125  
(305) 631-6660



Fernández Prieto & Asoc.  
Desarrollos Inmobiliarios

ARCHITECT:

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## GENERAL

- G-0 COVER SHEET
- G-1 LIST OF DRAWINGS
- G-2 GENERAL NOTES AND ABBREVIATIONS
- G-3 SITE PLAN & ZONING INFORMATION

## LANDSCAPE

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- L-2 AMENITY LEVEL "LAYOUT PLAN"
- L-3 GROUND LEVEL "TREES PLAN"
- L-4 AMENITY LEVEL "TREES PLAN"
- L-5 GROUND LEVEL "SHRUBS PLAN"
- L-6 AMENITY LEVEL "SHRUBS PLAN"
- L-7 GROUND LEVEL "SECTIONS"
- L-8 GROUND LEVEL "CUT SHEETS"

## ARCHITECTURAL

- A1-1.01 GROUND LEVEL FLOOR PLAN : PARKING & RETAIL
- A1-1.02 PARKING MEZZANINE LEVEL AND FIRST OFFICE LVL.
- A1-1.03 LEVEL 02 FLOOR PLAN : PARKING LVL
- A1-1.04 LEVEL 03 FLOOR PLAN : 2ND OFFICE AND PARKING
- A1-1.05 LEVEL 04 FLOOR PLAN : PARKING LVL
- A1-1.06 UPPER LEVEL 05 FLOOR PLAN : 3RD OFFICE AND PARKING
- A1-1.07 LEVEL 06 FLOOR PLAN : RECREATION LEVEL
- A1-1.08 LEVELS 07 TO 19 FLOOR PLAN: TYPICAL RESIDENTIAL LEVELS
- A1-1.09 LEVEL 20 FLOOR PLAN: PH GROUND LEVEL
- A1-1.10 LEVEL 21 FLOOR PLAN: PH SECOND LEVEL
- A1-1.11 ROOF LEVEL FLOOR PLAN: PH TERRACES
- A2-1.01 NORTH ELEVATION
- A2-1.02 EAST & WEST ELEVATIONS
- A2-1.03 SOUTH ELEVATION
- A3-1.01 LONGITUDAL SECTION
- A3-1.02 CROSS SECTION
- A4-1.01 PERSPECTIVE VIEWS
- A4-1.02 PERSPECTIVE VIEWS
- A4-1.03 PERSPECTIVE VIEWS
- A4-1.04 PERSPECTIVE VIEWS
- A4-1.05 PERSPECTIVE VIEWS
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**PROPERTY ADDRESS & FOLIO NUMBER:**

1555 N BAY CAUSEWAY | NORTH BAY VILLAGE | FLORIDA 33141  
 FOLIO # 23-3209-000-020 & # 23-3209-000-0030

**LEGAL DESCRIPTION:**

**PARCEL A**  
 COMMENCING AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, WHICH SAME IS RECORDED IN PLAT BOOK 25, AT PAGE 70 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; RUN NORTH 88°41'24" EAST FOR 1960 FEET; THENCE NORTH 01°37'08" WEST FOR 50.00 FEET TO THE POINT OF BEGINNING OF THE HEREAFTER DESCRIBED PARCEL; THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING CONTINUE NORTH 01°37'08" WEST FOR A DISTANCE OF 180 FEET TO A POINT; THENCE RUN NORTH 88°41'24" EAST FOR A DISTANCE OF 200 FEET TO A POINT; THENCE RUN SOUTH 01°37'08" EAST FOR A DISTANCE OF 180 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF N.E. 79TH STREET CAUSEWAY; THENCE RUN SOUTH 88°41'24" WEST ALONG SAID LINE FOR A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING. LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

**PARCEL B**  
 COMMENCING AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, WHICH SAME IS RECORDED IN PLAT BOOK 25, AT PAGE 70 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; RUN NORTH 88°41'24" EAST, FOR 2160 FEET; THENCE NORTH 01°37'08" WEST FOR 50.00 FEET TO THE POINT OF BEGINNING OF THE HEREAFTER DESCRIBED PARCEL; THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING CONTINUE NORTH 01°37'08" WEST FOR A DISTANCE OF 180 FEET TO A POINT; THENCE RUN NORTH 88°41'24" EAST FOR A DISTANCE OF 265 FEET TO A POINT; THENCE RUN SOUTH 01°37'08" EAST FOR A DISTANCE OF 180 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF N.E. 79TH STREET CAUSEWAY; THENCE RUN SOUTH 88°41'24" WEST ALONG SAID LINE FOR A DISTANCE OF 265 FEET TO THE POINT OF BEGINNING. LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

**GOVERNING CODES:**

FLORIDA BUILDING CODE, 2010  
 NFPA 101 - LIFE SAFETY CODE 2012 EDITION  
 FLORIDA FIRE PREVENTION CODE 2010  
 NATIONAL ELECTRICAL CODE  
 2010 FBC - MECHANICAL  
 2010 FBC - PLUMBING  
 FLORIDA FAIR HOUSING ACT

**TYPE OF CONSTRUCTION:**

TYPE I CONSTRUCTION - CONCRETE COLUMNS, CONCRETE SLAB -  
 TYPE I PROTECTED NFPA 13 - CBS EXTERIOR WALLS

**OCCUPANCY CLASSIFICATION:**

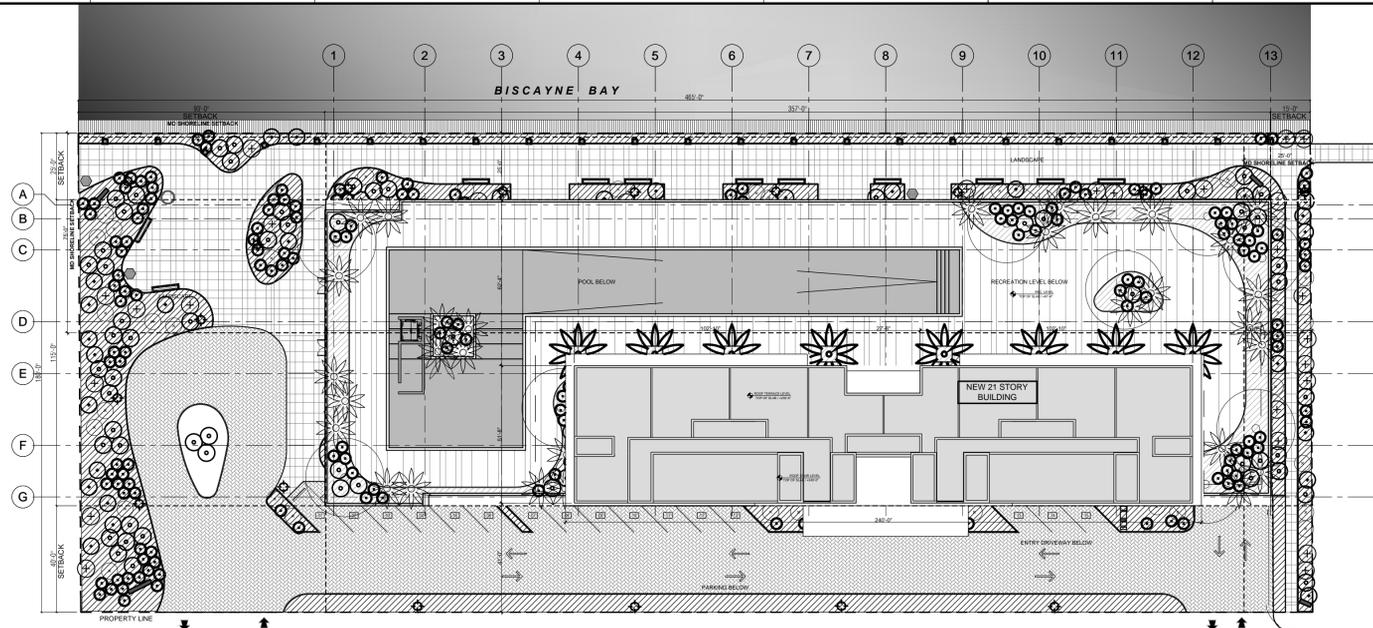
RESIDENTIAL GROUP R2  
 BUSINESS GROUP B  
 MERCANTILE GROUP M  
 AS PER FBC 2010, CHAPTER 3

**SCOPE OF WORK:**

NEW CONSTRUCTION OF MIXED USE MULTIFAMILY RESIDENTIAL DEVELOPMENT

**BUILDING DATA:**

PROPOSED	
<b>BUILDING AREA</b>	LEVEL 01 = 37,587 SQ. FT. PK.MEZZ.LVL. = 40,492 SQ. FT. LEVEL 02 = 40,492 SQ. FT. LEVEL 03 = 40,492 SQ. FT. LEVEL 04 = 40,492 SQ. FT. LEVEL 05 = 40,492 SQ. FT. LEVEL 06 = 25,144 SQ. FT. LEVEL 07 = 12,320 SQ. FT. LEVEL 08 = 12,320 SQ. FT. LEVEL 09 = 12,320 SQ. FT. LEVEL 10 = 12,320 SQ. FT. LEVEL 11 = 12,320 SQ. FT. LEVEL 12 = 12,320 SQ. FT. LEVEL 13 = 12,320 SQ. FT. LEVEL 14 = 12,320 SQ. FT. LEVEL 15 = 12,320 SQ. FT. LEVEL 16 = 12,320 SQ. FT. LEVEL 17 = 12,320 SQ. FT. LEVEL 18 = 12,320 SQ. FT. LEVEL 19 = 12,320 SQ. FT. LEVEL 20 = 12,320 SQ. FT. LEVEL 21 = 12,320 SQ. FT. <b>TOTAL AREA = 449,991 SQ. FT.</b>
<b>UNIT COUNT</b>	LEVEL 07 = 9 UNITS LEVEL 08 = 9 UNITS LEVEL 09 = 9 UNITS LEVEL 10 = 9 UNITS LEVEL 11 = 9 UNITS LEVEL 12 = 9 UNITS LEVEL 13 = 9 UNITS LEVEL 14 = 9 UNITS LEVEL 15 = 9 UNITS LEVEL 16 = 9 UNITS LEVEL 17 = 9 UNITS LEVEL 18 = 9 UNITS LEVEL 19 = 9 UNITS LEVEL 20 = 10 PENTHOUSE UNITS <b>TOTAL UNIT COUNT = 127 UNITS</b>
<b>UNIT BREAKDOWN</b>	<b>LEVELS 07 TO 19</b> (8) EFF. X 13 LVLS = 78 UNITS (3) 2 BED X 13 LVLS = 39 UNITS  <b>LEVEL 20</b> (2) 1BED X 1 LVLS = 2 UNITS (6) 2BED X 1 LVLS = 6 UNITS (2) 3BED X 1 LVLS = 2 UNITS  <b>TOTAL UNIT COUNT</b> <b>TOTAL 3BED = 2 UNITS</b> <b>TOTAL 2BED = 45 UNITS</b> <b>TOTAL 1BED = 2 UNITS</b> <b>TOTAL EFF. = 78 UNITS</b>  <b>TOTAL UNITS = 127 UNITS</b>



**1 SITE PLAN**  
 SCALE: N.T.S.

**SITE ZONING:**

CG-GENERAL COMMERCIAL / RM70

REQUIRED/ALLOWED		PROPOSED																																																	
<b>LOT AREA</b>	83,699 SQ FT (1,9215 ACRES)																																																		
<b>LOT COVERAGE</b>	20% PERVIOUS AREA / W/SETBACKS																																																		
	<b>TOTAL LOT COVERAGE ALLOWED = 41,057 SQ.FT.</b>		<b>40,576 SQ.FT.</b>																																																
<b>F.A.R.</b>	COMMERCIAL FUTURE LAND USE CATEGORY = 2.5 X LOT AREA																																																		
	<b>TOTAL F.A.R. ALLOWED = 209,248 SQ.FT.</b>		<b>208,323 SQ.FT.</b>																																																
<b>F.A.R. (MIN. UNITS SIZES)</b>	<table border="1"> <thead> <tr> <th colspan="4">UNIT SIZE</th> </tr> <tr> <th>UNIT TYPE</th> <th>REQUIRED MIN. SIZE</th> <th>PROVIDED UNIT AREA</th> <th># OF UNITS</th> </tr> </thead> <tbody> <tr> <td>A (2 BED)</td> <td>1,200 S.F.</td> <td>1,435 S.F.</td> <td>13</td> </tr> <tr> <td>B (EFFICIENCY)</td> <td>600 S.F.</td> <td>753 S.F.</td> <td>52</td> </tr> <tr> <td>C (2 BED)</td> <td>1,200 S.F.</td> <td>1,340 S.F.</td> <td>26</td> </tr> <tr> <td>D (EFFICIENCY)</td> <td>600 S.F.</td> <td>776 S.F.</td> <td>26</td> </tr> <tr> <td>PH1 (2 BED)</td> <td>1,200 S.F.</td> <td>1,544 S.F.</td> <td>2</td> </tr> <tr> <td>PH2 (2 BED)</td> <td>1,200 S.F.</td> <td>1,635 S.F.</td> <td>4</td> </tr> <tr> <td>PH3 (3 BED)</td> <td>1,350 S.F.</td> <td>2,289 S.F.</td> <td>2</td> </tr> <tr> <td>PH4 (1 BED)</td> <td>900 S.F.</td> <td>1,111 S.F.</td> <td>2</td> </tr> <tr> <td colspan="3"></td> <td><b>127</b></td> </tr> </tbody> </table>			UNIT SIZE				UNIT TYPE	REQUIRED MIN. SIZE	PROVIDED UNIT AREA	# OF UNITS	A (2 BED)	1,200 S.F.	1,435 S.F.	13	B (EFFICIENCY)	600 S.F.	753 S.F.	52	C (2 BED)	1,200 S.F.	1,340 S.F.	26	D (EFFICIENCY)	600 S.F.	776 S.F.	26	PH1 (2 BED)	1,200 S.F.	1,544 S.F.	2	PH2 (2 BED)	1,200 S.F.	1,635 S.F.	4	PH3 (3 BED)	1,350 S.F.	2,289 S.F.	2	PH4 (1 BED)	900 S.F.	1,111 S.F.	2				<b>127</b>				
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<b>PERVIOUS AREA</b>	20% MIN. = 16,739 SQ.FT.																																																		
	<b>TOTAL OPEN SPACE REQUIRED = 16,739.8 SQ.FT.</b>		<b>TOTAL OPEN SPACE PROVIDED = 26,138 SQ.FT.</b>																																																

**MAX. BUILDING HEIGHT**

**REQUIRED/ALLOWED**  
 150 PR 15 STORIES  
 BONUS FOR 240' MAXIMUM HEIGHT  
 (SUBSECTIONS 152.029 (C) (8) 8 (A) THROUGH (F))

**PROPOSED**  
 240'-0"

**SETBACKS**

**KENNEDY CAUSEWAY (NORTH SIDE)** 40'-0" MIN.  
**ONE SIDE (INTERIOR)** 15'-0" MIN.  
**SECOND SIDE (INTERIOR)** 20% OF LOT WIDTH  
**REAR** 25'-0" MIN

40'-0"  
 15'-0"  
 93'-0"  
 25'-0"

**PARKING**

**RESIDENTIAL PARKING**  
 1.5 / PER EFFICIENCY  
 (1.5 X 78 UNITS) = 117 PARKING SPACES  
 2 / (1) OR (2) BEDROOM UNITS  
 (2 X 47 UNITS) = 94 PARKING SPACES  
 3 / PER 3 BEDROOM UNITS  
 (3 X 2 UNITS) = 6 PARKING SPACES  
**PARKING SPACES REQ. FOR RESIDENTIAL = 217 PK. SP.**  
**PARKING REQUIRED FOR VISITORS = 10% X 217 = 22 PK. SP.**  
**OFFICE PARKING**  
 1 / 300 SQ.FT  
 TOTAL OFFICE AREA = 9,625 SQ.FT. / 300 = 32.1  
**PARKING SPACES REQ. FOR OFFICE = 33 PK. SP.**  
**RETAIL PARKING**  
 1 PK.SP. / 200 SQ.FT. GFA  
 TOTAL RETAIL AREA 18,790 SQ.FT. / 200 = 94  
**PARKING SPACES REQ. FOR RETAIL = 94 PK. SP.**

**PARKING SPACES PROVIDED PER LEVEL:**  
 GND. LVL. = 15 PK. SP.  
 LEVEL 02 = 73 PK. SP.  
 LEVEL 03 = 88 PK. SP.  
 LEVEL 04 = 88 PK. SP.  
 LEVEL 05 = 88 PK. SP.  
 LEVEL 06 = 60 PK. SP.

**TOTAL PARKING SPACES REQUIRED = 366 PARKING SPACES**  
 2% MIN. HDCCP PARKING SPACES REQUIRED (8 SPACES)

**TOTAL PARKING SPACES PROVIDED = 412 PK. SP.**  
 (33 PARALLEL SPACES 9'X24' INCLUDED IN TOTAL)  
 (9 HDCCP SPACES 12'X18' INCLUDED IN TOTAL)



**SUBJECT LOCATION**  
 2900 SW 28TH LN  
 MIAMI, FLORIDA 33133



**2 AERIAL VIEW AND LOC. MAP**  
 SCALE: N.T.S.

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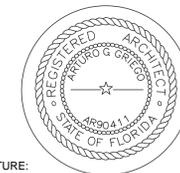
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ISSUE DATE: 04-09-2014

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DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
HEREIN CONSTITUTE ORIGINAL WORK OF  
THE ARCHITECT AND MAY ONLY BE  
DUPLICATED WITH THEIR WRITTEN  
CONSENT.

SEAL:



SIGNATURE:

ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:

LOT AREA AND  
OPEN SPACE DIAGRAMS

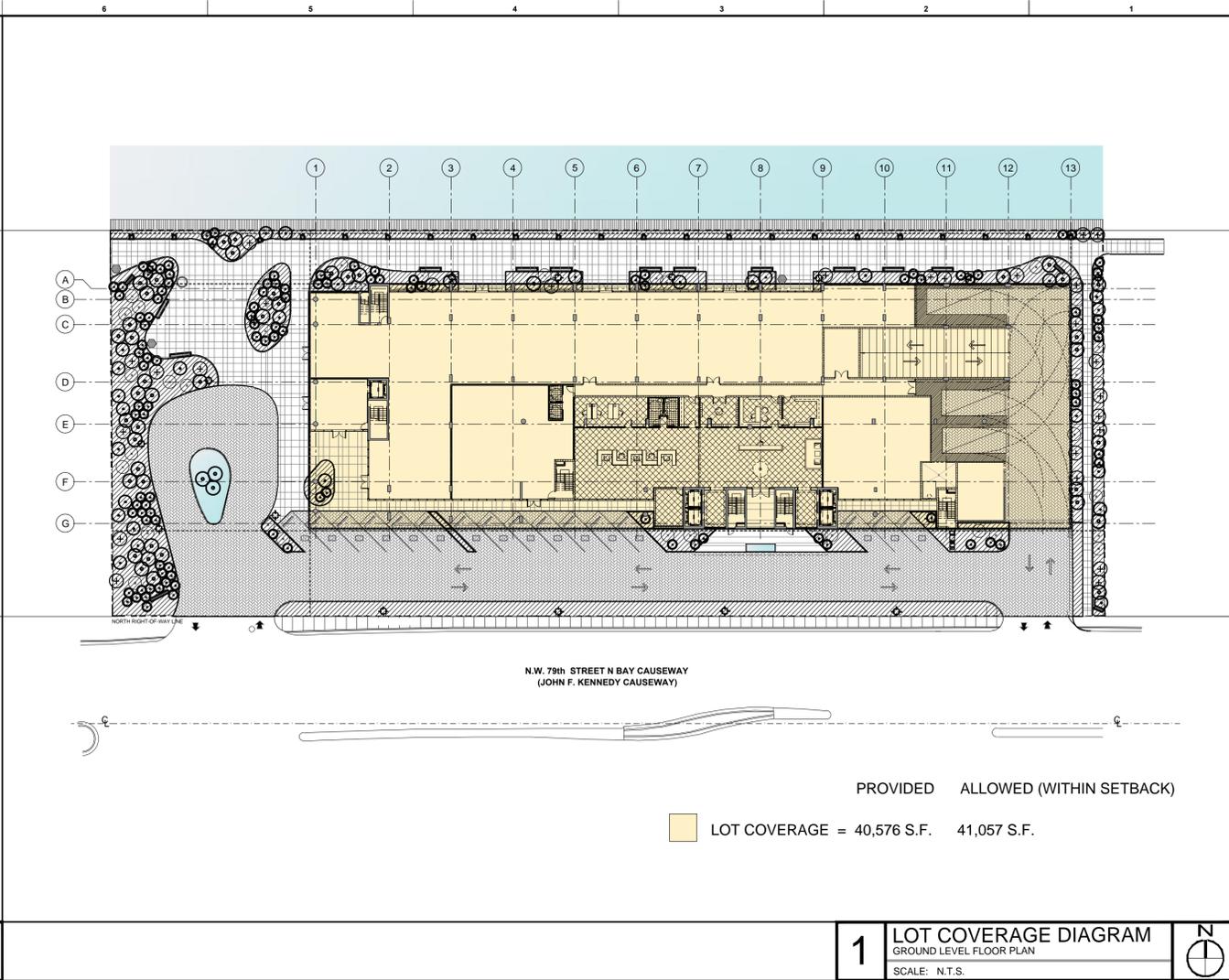
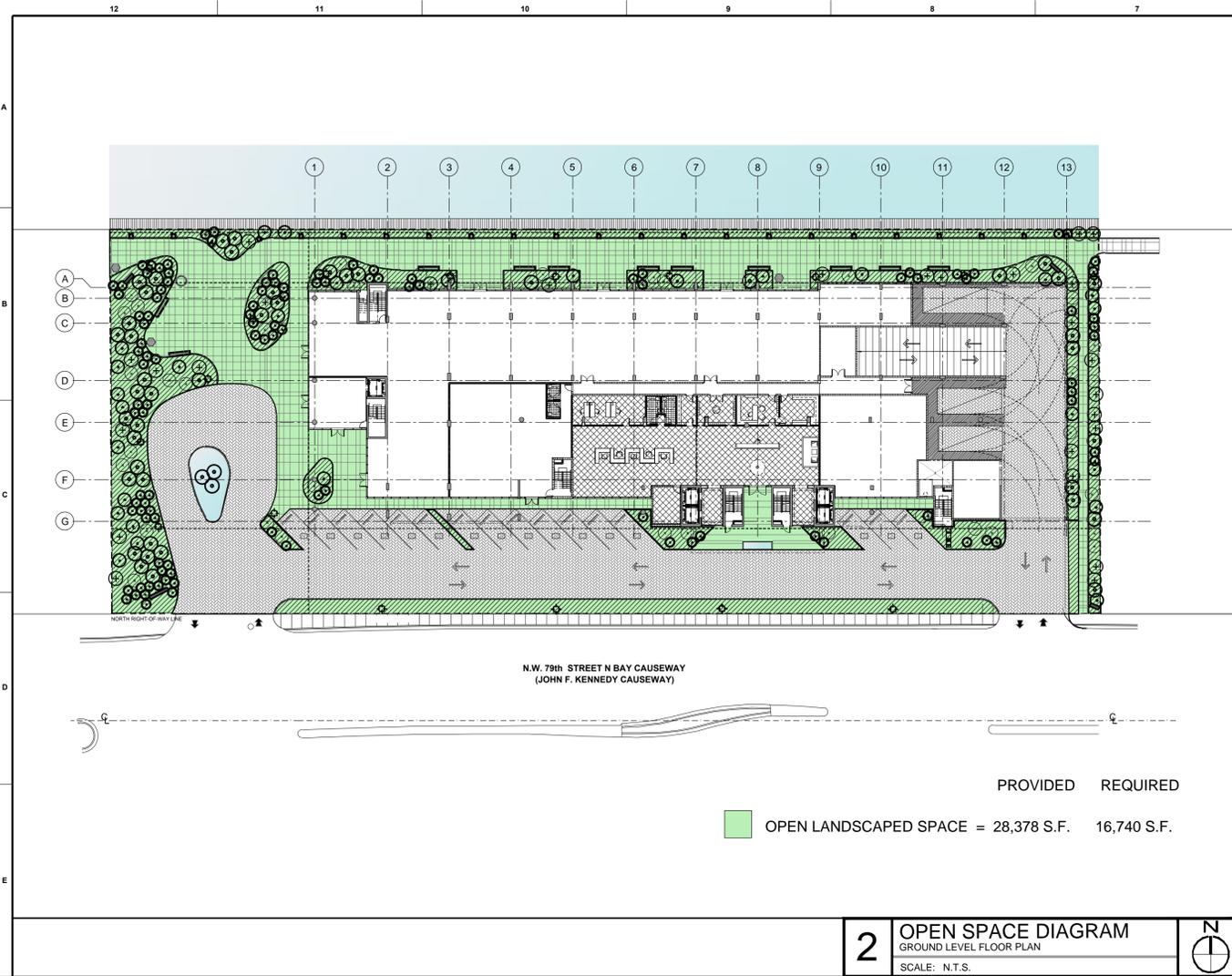
SCALE:

N.T.S.

SHEET No.:

# G-4

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PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133

**B Developments**  
1875 NW South River Dr.  
Miami, FL 33125  
(305) 631-6960

**Fernández Prieto & Asoc.**  
Desarrollos Inmobiliarios

ARCHITECT:

**itec design**

1111 Lincoln Rd. suite 305 | Miami Beach, FL 33139  
t 305 673 2121 f 305 673 4640  
e miami@itecdesign.net | www.itecdesign.net  
#AA0003394

CIVIL ENGINEERS:  
**VSN Engineering**  
leo@vsng.com  
2550 W Flagler St Miami, FL 33144  
(305) 551-6267

LANDSCAPE:  
**Matthew Lewis Studio**  
mcl@matthewlewisstudio.com  
4100 NW 25th St  
Miami, FL 33127  
305.417.9968

KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:

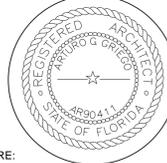
ISSUE DATE: 04-09-2014

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ALL DRAWING AND WRITTEN MATERIALS  
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SIGNATURE:  
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LIC# AR94011

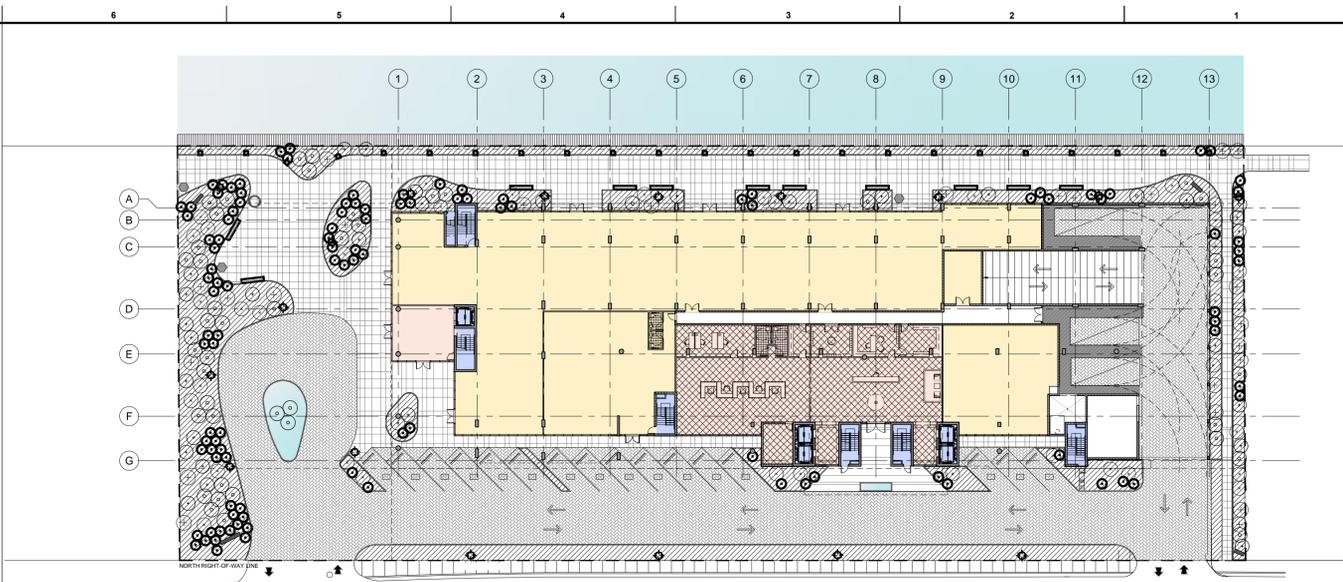
SHEET TITLE:  
F.A.R. DIAGRAMS

SCALE:  
N.T.S.

SHEET No.:

# G-5

itec design inc. 2014

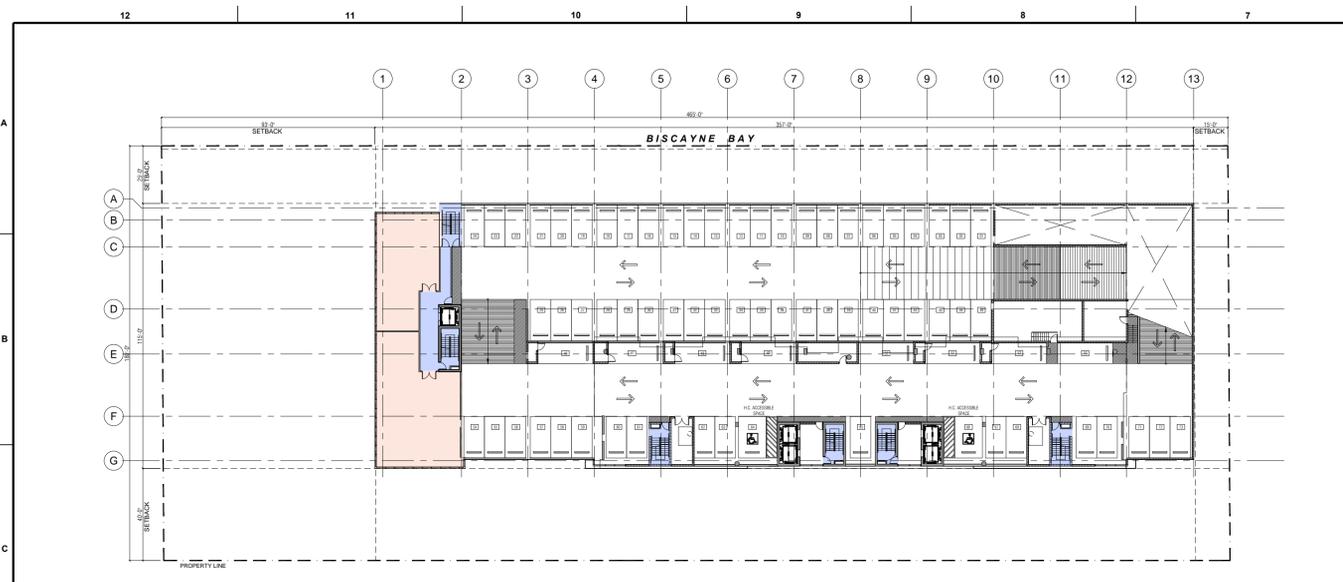


### GROUND LEVEL

RETAIL = 18,790 S.F.      CORE = 1,367 S.F.

RESIDENTIAL AND OFFICE LOBBY = 6,630 S.F.      TOTAL F.A.R. GROUND LEVEL = 26,787 S.F.

**1 F.A.R. DIAGRAM**  
GROUND LEVEL FLOOR PLAN  
SCALE: N.T.S.

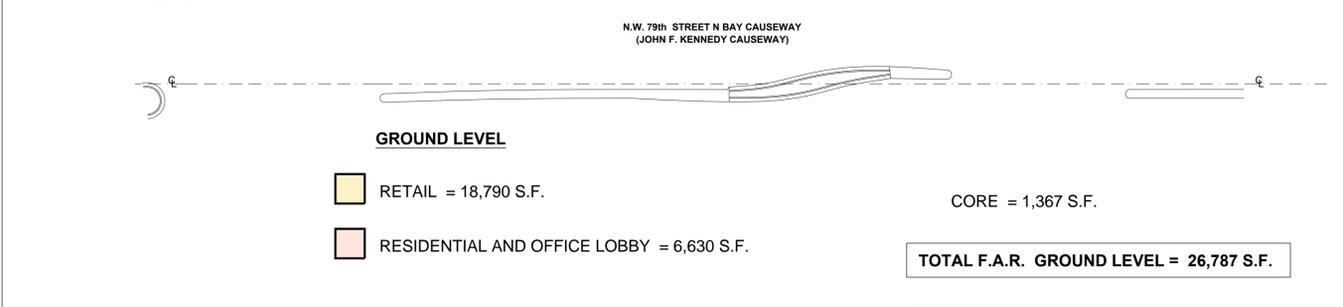


### LEVEL PK.MEZZ. & 03

OFFICE = 3,270 S.F.      TOTAL F.A.R. LEVELS PK.MEZZ & 03 = 4,740 S.F. X 2 LVLS = 9,480 S.F.

CORE = 1,470 S.F.      TOTAL F.A.R. LEVELS PK.MEZZ & 03 = 9,480 S.F.

**2 F.A.R. DIAGRAM**  
LEVELS PK.MEZZ & 03 FLOOR PLAN  
SCALE: N.T.S.



### LEVELS 02 & 04

CORE = 1,043 S.F.      TOTAL F.A.R. LEVELS 02 & 04 = 1,043 S.F. X 2 LVLS = 2,086 S.F.

TOTAL F.A.R. LEVELS 02 & 04 = 2,086 S.F.

**3 F.A.R. DIAGRAM**  
LEVELS 02 & 04 FLOOR PLAN  
SCALE: N.T.S.



### LEVEL 05

OFFICE = 3,270 S.F.      TOTAL F.A.R. LEVEL 05 = 4,740 S.F.

CORE = 1,470 S.F.

**4 F.A.R. DIAGRAM**  
LEVEL 05 FLOOR PLAN  
SCALE: N.T.S.

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133

**B Developments**  
1875 NW South River Dr  
Miami, FL 33125  
(305) 831-6660

**Fernández Prieto & Asoc.**  
Desarrollos Inmobiliarios

ARCHITECT:

**itec design**  
architectural + design  
1111 Lincoln Rd. suite 305 | Miami Beach, FL 33139  
t 305 673 2121 f 305 673 4640  
e miami@itecdesign.net | w www.itecdesign.net  
#AA0003394

CIVIL ENGINEERS:  
**VSN Engineering**  
leo@vsng.com  
8550 W Flagler St Miami, FL 33144  
(305) 551-6267

LANDSCAPE:  
**Matthew Lewis Studio**  
mcl@matthewlewisstudio.com  
4100 NW 25th St  
Miami, FL 33127  
305.417.9968

KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 04-09-2014

PROJECT No.: 1330

DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
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LIC# AR94011

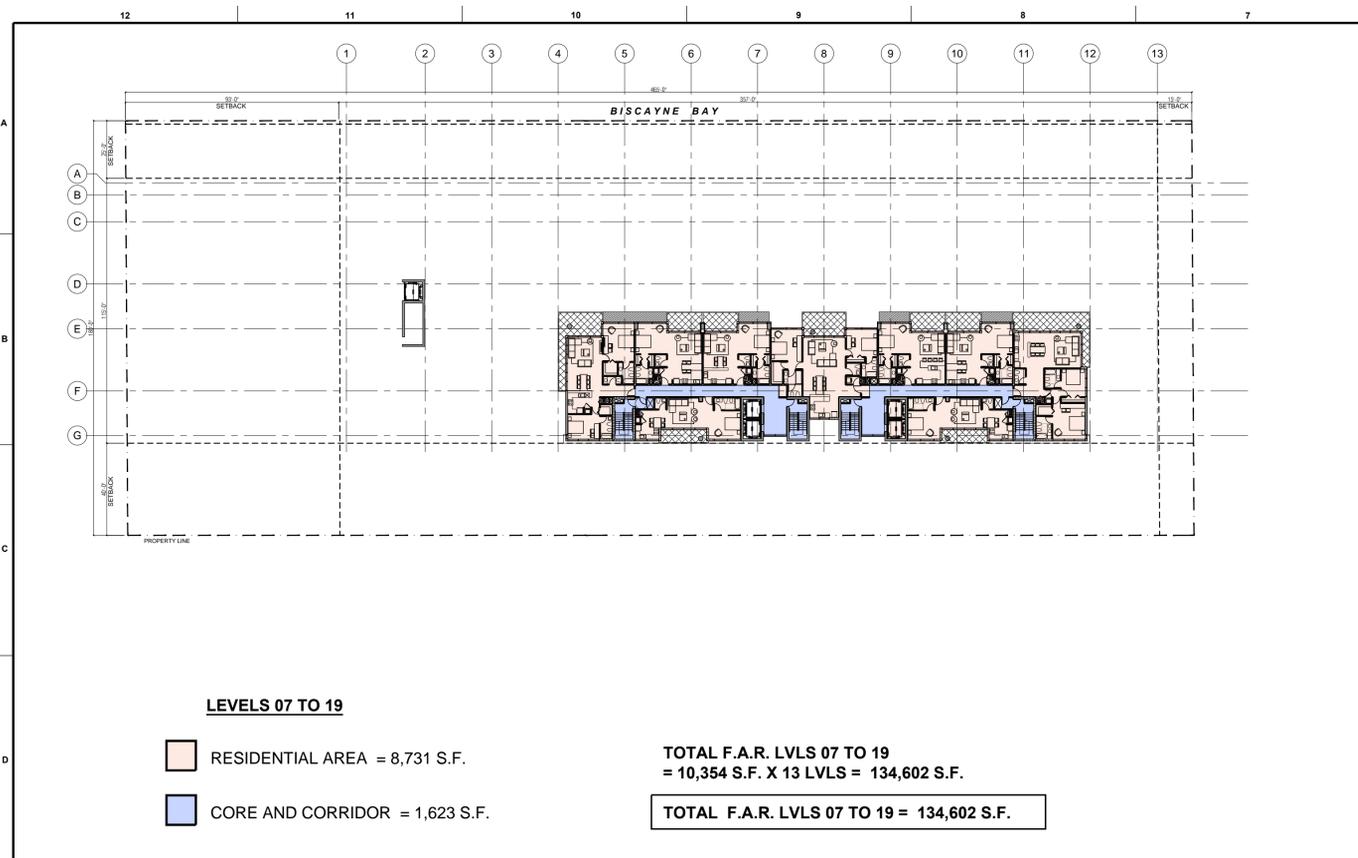
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SCALE:  
N.T.S.

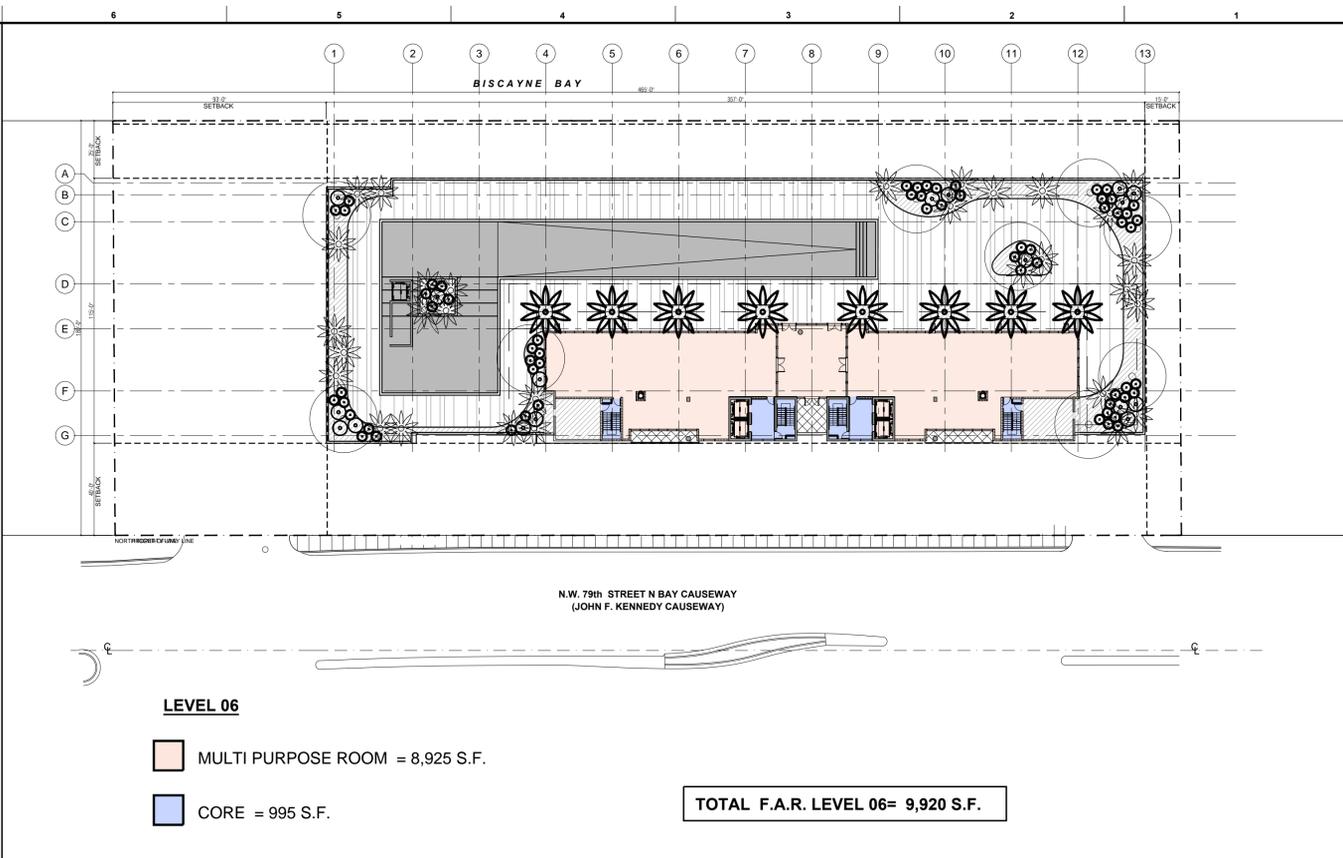
SHEET No.:

# G-6

itec design inc. 2014



**2 F.A.R. DIAGRAM**  
LEVELS 07 TO 19 FLOOR PLAN  
SCALE: N.T.S.



**1 F.A.R. DIAGRAM**  
LEVEL 06 FLOOR PLAN  
SCALE: N.T.S.



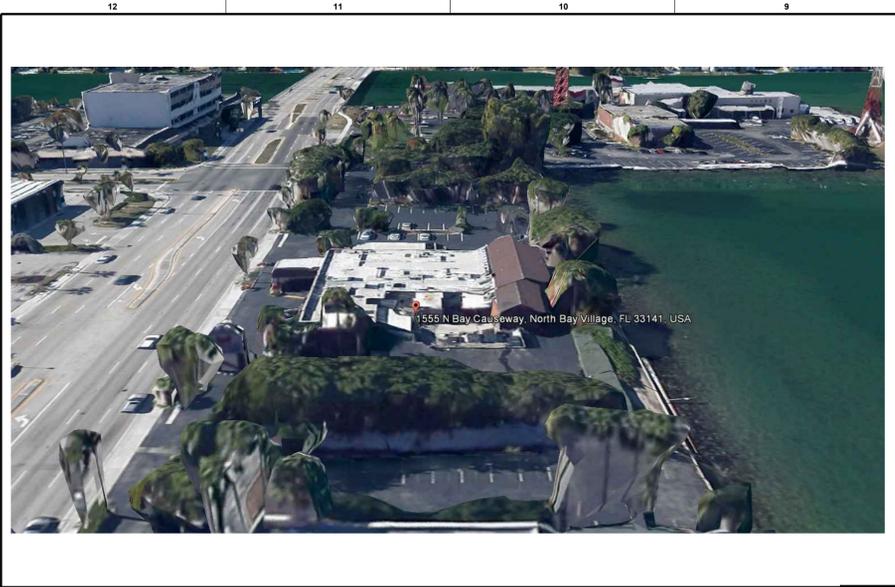
**4 F.A.R. DIAGRAM**  
LEVEL 21 FLOOR PLAN  
SCALE: N.T.S.



**GROUND LEVEL = 26,787 S.F.**  
**LEVEL PK.MEZZ = 4,740 S.F.**  
**LEVEL 02 = 1,043 S.F.**  
**LEVEL 03 = 4,740 S.F.**  
**LEVEL 04 = 1,043 S.F.**  
**LEVEL 05 = 4,740 S.F.**  
**LEVEL 06 = 9,920 S.F.**  
**LEVEL 07 TO 19 = 134,602 S.F.**  
**LEVEL 20 = 10,354 S.F.**  
**LEVEL 21 = 10,354 S.F.**

**TOTAL F.A.R. PROVIDED = 208,323 S.F.**  
**TOTAL F.A.R. ALLOWED = 209,248 S.F.**

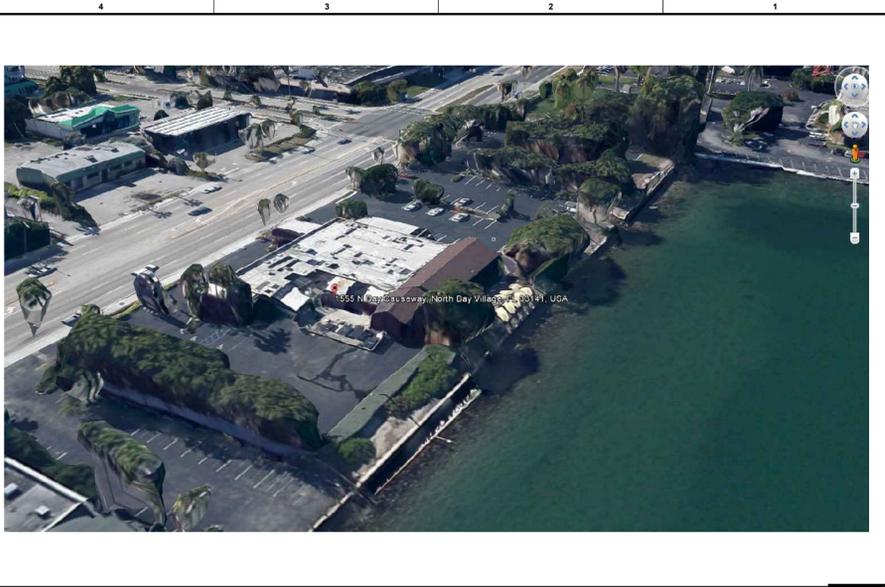
**3 F.A.R. DIAGRAM**  
LEVEL 20 FLOOR PLAN  
SCALE: N.T.S.



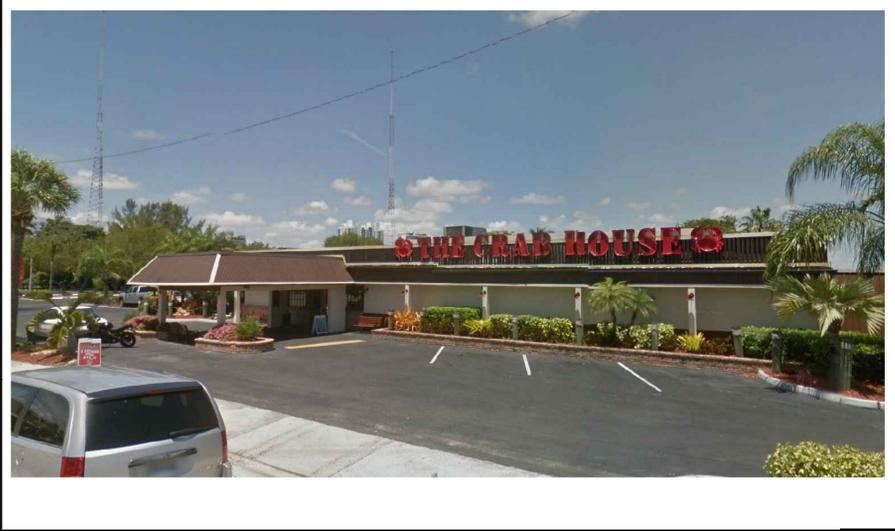
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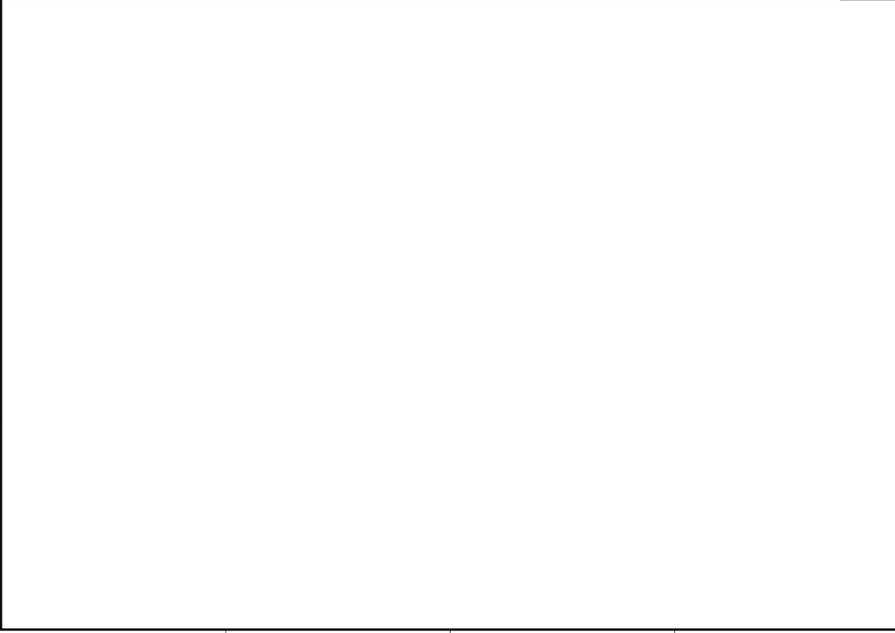
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5



6



**SUBJECT LOCATION**  
**1555 N BAY CAUSEWAY**  
**NORTH BAY VILLAGE**  
**FLORIDA 33133**

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**PROPERTY ADDRESS AND FOLIO NUMBER**

1555 N BAY CAUSEWAY | NORTH BAY VILLAGE | FLORIDA 33133  
 FOLIO # 23-3209-000-0030



**2** LOCATION MAP  
 SCALE: N.T.S.

PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
 RESIDENTIAL DEVELOPMENT  
 1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133

**B Developments**  
 1800 W. South Shore Dr.  
 Miami, FL 33125  
 (305) 631-6660

**Fernández Prieto & Asoc.**  
 Desarrollos Inmobiliarios

ARCHITECT:  
**itecdesign**  
 architects + design  
 1111 Lincoln Rd. suite 305 | Miami Beach, FL 33139  
 t 305 673 2121 f 305 673 4640  
 e miami@itecdesign.net | w www.itecdesign.net  
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CIVIL ENGINEERS:  
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 8550 W Flagler St Miami, FL 33144  
 (305) 551-6287

LANDSCAPE:  
**Matthew Lewis Studio**  
 mcl@matthewlewisstudio.com  
 400 NW 26th St  
 Miami, FL 33127  
 305.417.9968

KEY PLAN:

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 04-09-2014  
 PROJECT No.: 1330  
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 CONSENT.

SEAL:

SIGNATURE:  
 ARTURO G. GRIEGO  
 LIC# AR94011

SHEET TITLE:  
**SITE PICTURES**

SCALE:  
**N.T.S.**  
 SHEET No.:

**G-7**

# NORTH BAY VILLAGE III MIXED-USED DEVELOPMENT

AT

## 1555 79TH STREET CAUSEWAY

CITY OF NORTH BAY VILLAGE  
MIAMI-DADE COUNTY, FLORIDA

OWNER:

1755 79TH STREET CAUSEWAY

1870 NW SOUTH RIVER DRIVE  
MIAMI, FLORIDA 33125  
(305)

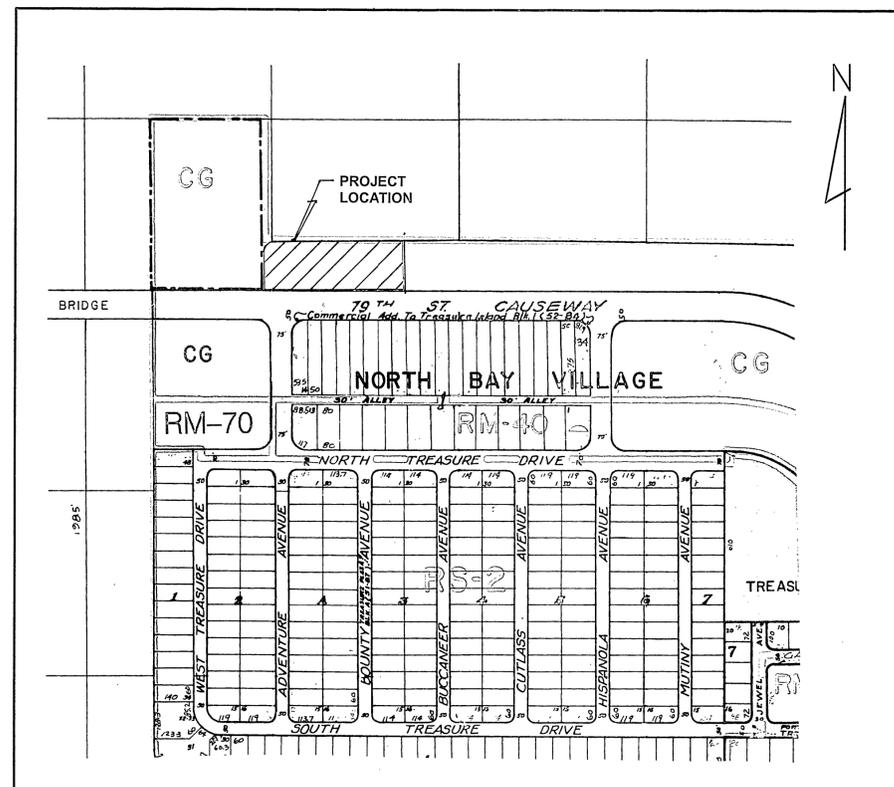
ENGINEERS:

V. S. N. ENGINEERING, INC.  
CIVIL ENGINEERS

8550 W. FLAGLER STREET, SUITE 113  
MIAMI, FLORIDA 33144  
TEL (305) 551-6267  
FAX (305) 551-4542

### LIST OF DRAWINGS:

- C-0 COVER SHEET AND LOCATION MAP
- C-1 SITE AND PAVING PLAN
- C-2 SITE AND PAVING DETAILS
- C-3 GRADING AND DRAINAGE PLAN
- C-4 STORM DRAINAGE DETAILS
- C-5 TYPICAL SEDIMENT TANK AND DRAINAGE WELL DETAILS
- C-6 SITE UTILITIES PLAN



LOCATION MAP

### LEGAL DESCRIPTION:

PARCEL A  
COMMENCING AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, WHICH SAME IS RECORDED IN PLAT BOOK 25, AT PAGE 70 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; RUN NORTH 88°41'24" EAST FOR 1960 FEET; THENCE NORTH 01°37'08" WEST FOR 50.00 FEET TO THE POINT OF BEGINNING OF THE HERINAFTER DESCRIBED PARCEL; THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING CONTINUE NORTH 01°37'08" WEST FOR A DISTANCE OF 180 FEET TO A POINT; THENCE RUN NORTH 88°41'24" EAST FOR A DISTANCE OF 200 FEET TO A POINT; THENCE RUN SOUTH 01°37'08" EAST FOR A DISTANCE OF 180 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF N.E. 79TH STREET CAUSEWAY; THENCE RUN SOUTH 88°41'24" WEST ALONG SAID LINE FOR A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING. LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

PARCEL B  
COMMENCING AT THE ONE-HALF MILE POST ON THE WEST LINE OF SECTION 9, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AS SHOWN ON THE MAP OF HIGHWAY RIGHT-OF-WAY OF PROPOSED NORTHEAST SEVENTY-NINTH STREET CAUSEWAY, WHICH SAME IS RECORDED IN PLAT BOOK 25, AT PAGE 70 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; RUN NORTH 88°41'24" EAST, FOR 2160 FEET; THENCE NORTH 01°37'08" WEST FOR 50.00 FEET TO THE POINT OF BEGINNING OF THE HERINAFTER DESCRIBED PARCEL; THENCE FROM THE ABOVE ESTABLISHED POINT OF BEGINNING CONTINUE NORTH 01°37'08" WEST FOR A DISTANCE OF 180 FEET TO A POINT; THENCE RUN NORTH 88°41'24" EAST FOR A DISTANCE OF 265 FEET TO A POINT; THENCE RUN SOUTH 01°37'08" EAST FOR A DISTANCE OF 180 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF N.E. 79TH STREET CAUSEWAY; THENCE RUN SOUTH 88°41'24" WEST ALONG SAID LINE FOR A DISTANCE OF 265 FEET TO THE POINT OF BEGINNING. LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.













**DRAWING REVISION REGISTER**

REV#	SHEET #	REVISION DESCRIPTION
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03/27/2014 DRAWING ISSUE

**SHEET INDEX**

LANDSCAPE DRAWINGS		DRAWING NOTES
□□□□■	LCVR COVER PAGE	
□□□□■	L001 GENERAL SITE NOTES	INCLUDES MIAMI DADE LANDSCAPE LEGEND
□□□□■	LSVR SURVEY	BY OTHERS
□□□□■	LAER AERIAL IMAGE OF EXISTING SITE	
□□□□■	L100 TREE DISPOSITION SCHEDULE & NOTES	
□□□□■	L101 TREE DISPOSITION PLAN	
□□□□□	L200 DEMOLITION NOTES	BY OTHERS
□□□□□	L201 DEMOLITION PLAN	BY OTHERS
□□□□□	L300 MATERIALS & LAYOUT SCHEDULE & NOTES	
□□□□■	L301 GRD LEVEL MATERIALS & LAYOUT PLAN	
□□□□■	L302 7th LEVEL MATERIALS & LAYOUT PLAN	
□□□□□	L400 GRADING NOTES	
□□□□□	L401 GRADING PLAN	
□□□□□	L500 LAYOUT NOTES	SEE SHEETS L300 - L302
□□□□□	L501 LAYOUT PLAN	SEE SHEETS L300 - L302
□□□□■	L600 DETAILS	
□□□□■	L700 PLANTING SCHEDULE & NOTES	
□□□□■	L701 GRD LEVEL TREE & PALM PLANTING PLAN	
□□□□■	L702 GRD LEVEL UNDERSTORY PLANTING PLAN	
□□□□■	L703 7th LEVEL TREE & PALM PLANTING PLAN	
□□□□■	L704 7th LEVEL UNDERSTORY PLANTING PLAN	
□□□□■	L705 PLANTING DETAILS	
□□□□■	L800 IRRIGATION NOTES	
□□□□■	L801 IRRIGATION PLAN GROUND LEVEL	
□□□□■	L802 IRRIGATION PLAN 7th LEVEL	
□□□□□	L900 LIGHTING SCHEDULE & NOTES	SEE SHEETS L300 - L302
□□□□□	L901 LIGHTING PLAN	SEE SHEETS L300 - L302
□□□□□	LFRN FURNITURE SCHEDULE & NOTES	BY OTHERS
□□□□□	LFRP FURNITURE PLAN	BY OTHERS

**LOCATION MAP**



**North Bay Village II**

1555 KENNEDY CAUSEWAY | NORTH BAY VILLAGE, FL 33141

SEAL  
**NOT FOR CONSTRUCTION**

**CLIENT**

NORTH BAY VILLAGE II  
1555 KENNEDY CAUSEWAY  
NORTH BAY VILLAGE, FL 33141

**LANDSCAPE ARCHITECT**

LEWIS & NIELSEN DESIGN  
2315 NORTH MIAMI AVENUE  
MIAMI, FL 33127  
303.909.7192

TYLER NIELSEN  
TYLER@LEWISANDNIELSEN.COM

**ARCHITECT**

ITEC DESIGN  
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MIAMI BEACH, FL 33139  
305.673.2124

ARTURO GRIEGO  
ARTUROGRIEGO@ITECDESIGN.NET

**COVER PAGE**

DATE ISSUE  
04/07/2014 ENTITLEMENTS



Know what's below.  
Call before you dig.

North Bay Village II

1555 KENNEDY CAUSEWAY | NORTH BAY VILLAGE, FL 33141

**SITework GENERAL NOTES**

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BY THE SUBCONTRACTORS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.
3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. ALL CONTRACTORS MUST COMPLY WITH PERMIT REQUIREMENTS, LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES RULES AND REGULATIONS AND LAND USE APPROVAL CONDITIONS AT ALL TIMES.
4. WORK PERFORMED WITHOUT APPROVAL OF LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES AND/OR NOT IN COMPLIANCE WITH SPECIFICATIONS AND/OR DRAWINGS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.
5. ALL WORK SHALL CONFORM TO THE APPROPRIATE AGENCIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS AND ELECTRICAL LINES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ALL LAND MONUMENTS DISRUPTED BY CONSTRUCTION ACTIVITIES OR NEGLIGENCE ON THE PART OF THE CONTRACTOR. RESETS SHALL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR AND MONUMENT RECORDS MUST BE FILED AS REQUIRED BY STATUTE FOR ALL MONUMENTS.
7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
8. ALL BARRICADING AND TEMPORARY TRAFFIC CONTROL DEVICES OR METHODS USED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS. PROVIDE ADEQUATE TIME FOR REVIEW AND APPROVAL BY THE ABOVE JURISDICTIONS PRIOR TO COMMENCEMENT.
9. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES UTILIZED OR FOR SAFETY PRECAUTIONS OR PROBLEMS IN CONNECTION WITH THE WORK. THE LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACT DOCUMENTS INCLUDE THE CONSTRUCTION DOCUMENT DRAWING SET/TECHNICAL SPECIFICATIONS MANUAL/LASIS.
10. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
11. A SYSTEM OF DIAGRAMMATIC SYMBOLS, HATCHES AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATIONS CAREFULLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLEAR NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.

**SITework GENERAL NOTES CONTINUED**

1. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK. UTILITY SLEEVES ARE REQUIRED IN ALL PLANT BEDS ISOLATED BY PAVEMENT OR ANY OTHER STRUCTURES.
2. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.
3. VEHICLES, EQUIPMENT, AND/OR MATERIALS SHALL NOT BE PARKED OR STORED IN AREAS OF EXISTING VEGETATION, INCLUDING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
4. CONSTRUCTION WASTE-INCLUDING BUT NOT LIMITED TO: PLANT MATERIAL, BUILDING MATERIALS, DEMOLISHED MATERIALS, PACKAGING, LEFTOVER PAINT AND CONCRETE SLURRY-SHOULD BE PROPERLY REUSED, RECYCLED, DISPOSED OF LEGALLY OFF-SITE OR IN DESIGNATED WASH-OUT AREAS DETERMINED BY THE GENERAL CONTRACTOR.
5. RECYCLING AND TRASH BINS TO BE PROVIDED ON SITE. SEPARATE BINS FOR CARDBOARD, CO-MINGLED, AND OTHER RECYCLABLE/REUSABLE MATERIALS IDENTIFIED BY THE LOCAL JURISDICTION SHALL BE MAINTAINED. ALL BINS TO BE WILDLIFE-PROOF.
6. ON-SITE FUEL STORAGE FOR CONSTRUCTION EQUIPMENT IS DISCOURAGED. CONSTRUCTION EQUIPMENT USED ON SITE TO BE CHECKED REGULARLY TO ASSURE CONTAMINATION CONCERNS FROM OILS AND GREASES ARE ELIMINATED. NO TOXIC MATERIALS SHALL BE STORED ON-SITE.
7. GENERAL CONTRACTOR TO KEEP ALL ITEMS IMPLEMENTED BY LANDSCAPE ARCHITECT IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.
8. THE CONSTRUCTION SITE TO BE INSPECTED ON A MONTHLY BASIS BY LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER TO ASSURE THAT THE SILT FENCE AND MUD TRACKING PAD ARE PROPERLY IN PLACE AND FUNCTIONING AS DESIGNED.
9. GREEN BUILDING PRACTICES SHALL BE EMPLOYED TO THE EXTENT FEASIBLE. SUCH PRACTICES INCLUDE: CARPOOLING/VANPOOLING TO JOB SITE, MINIMIZING MATERIALS PACKING BEFORE ARRIVAL TO JOB SITE, REDUCING MATERIAL/RESOURCE INEFFICIENCIES BY COORDINATING WORK.
10. THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.
11. WATERPROOFING OF SUBGRADE AND OTHER ARCHITECTURAL SPACES BELOW AND/OR ADJACENT TO IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT IS TO BE ADEQUATELY DESIGNED AND DETAILED BY OTHERS TO PERMANENTLY REPEL ALL WATER SOURCES INCLUDING, BUT NOT LIMITED TO: PRECIPITATION, STORM WATER RUNOFF, GROUND WATER, IRRIGATION, ROOF RUNOFF, GROUND WATER, AND PLUMBING LEAKS.
12. STRUCTURAL DESIGN TO SUPPORT IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT AND LOCATED ABOVE, BELOW, AND/OR ADJACENT TO SUBGRADE AND OTHER ARCHITECTURAL SPACES IS THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. THE STRUCTURAL DESIGN SHOULD BE ADEQUATELY DESIGNED TO SUPPORT ALL POSSIBLE LOADS INCLUDING, BUT NOT LIMITED TO: BACKFILL, COMPACTION, PLANTINGS, HARDSCAPES, RETAINING AND FREESTANDING SITE WALLS, AND CONSTRUCTION MATERIALS/EQUIPMENT/ACTIVITY.

**SOIL EROSION CONTROL NOTES**

1. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL SESC MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS REQUIRED BY ANY GOVERNING AGENCIES.
2. ALL SESC MEASURES TO BE MAINTAINED DAILY.
3. THE CONTRACTOR TO CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
4. WATER FROM TRENCHES AND OTHER EXCAVATION TO BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
5. NORTH AMERICAN GREEN SC-150 OR EQUIVALENT EROSION CONTROL FABRIC IS REQUIRED ON ALL DISTURBED SLOPES GREATER THAN 3:1 UNTIL PROJECT AREA IS REVEGETATED PER THE PLANTING PLAN.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. CONTRACTOR TO PROVIDE ONSITE WATERING TO REDUCE FUGITIVE DUST LEAVING THE SITE DURING CONSTRUCTION.
8. SOIL EROSION CONTROL MEASURES TO BE PROVIDED FOR ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS.
9. CONSTRUCTION STAGING AND PHASING SHALL OCCUR, WHERE APPLICABLE, TO MINIMIZE SOIL DISTURBANCE TIME.
10. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE ADJUSTED AS NEEDED TO MEET ANY OTHER UNFORESEEN CONDITIONS.
11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING A MUD TRACKING PAD/WASHING PAD AT THE CONSTRUCTION ENTRANCES TO MINIMIZE MUD DETACHMENT FROM TRUCK TIRES. 1-1/2 INCH SCREENED ROCK TO BE PLACED ON MIRAFI 140-N FILTER FABRIC. ADDITIONAL CLEAN GRAVEL TO BE ADDED THROUGHOUT THE DURATION OF CONSTRUCTION AS NEEDED.
12. CONTRACTOR SHALL ABIDE BY THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES CONSTRUCTION MANAGEMENT PLAN REQUIREMENTS.
13. RESEED AS INDICATED IN SEEDING NOTES.

**MIAMI DADE LANDSCAPE LEGEND**

LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan.)  
Zoning District: CG Net Lot Area: 1.92 acres 83,701 square feet

OPEN SPACE	REQUIRED	PROVIDED
A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = <u>83,701</u> square feet x <u>20</u> % = <u>16,740</u> square feet	<u>16,740</u>	<u>16,828</u>
B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan: The number of parking spaces <u>20</u> x 10 square feet per parking space =	<u>200</u>	<u>347</u>
C. Total square feet of landscaped open space required by Chapter 33 = A + B =	<u>16,940</u>	<u>17,175</u>

LAWN AREA CALCULATION

A. Total square feet of landscaped open space required by Chapter 33 =	<u>16,940</u>
B. Maximum lawn area (St. Augustine sod) permitted = <u>20</u> % x <u>16,940</u> square feet =	<u>3,388</u> <u>0</u>

TREES

A. The number of trees required per net lot acre	<u>28</u>
less the existing number of trees that meet minimum requirements	(minus) <u>31</u>
= <u>0</u> trees x net lot acreage =	<u>0</u>
B. 30% palm trees allowed (two palms = one tree) Palms provided =	<u>0</u> <u>99</u>
C. Percentage of native trees required = the number of trees provided x 30% =	<u>41</u> <u>113</u>
D. Street trees (max. average spacing of 35' o.c.): <u>NA</u> linear feet along street + 35 =	<u>NA</u> <u>NA</u>
Palms as street trees (max. average spacing 25' o.c.): <u>NA</u> linear feet along street + 25 =	<u>NA</u> <u>NA</u>
E. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.): <u>450</u> linear feet along street + 25 =	<u>18</u> <u>21</u>
F. Total number of trees provided =	<u>6</u> <u>136</u>

SHRUBS

A. The total number of trees required x 10 = the number of shrubs required	<u>560</u>	<u>562</u>
B. The number of shrubs required x 30% = the number of native shrubs required	<u>168</u>	<u>562</u>

IRRIGATION PLAN: Required by Chapter 33. Auto irrigation  or hose bib \_\_\_\_\_ provided.

TABLE containing information as indicated in sample:

SYMBOL USED ON PLAN		PLANT NAME		NATIVE SPECIES		CALIPER		HEIGHT			CANOPY DIAMETER		QUANTITY
Symbol	Now	Existing	Scientific	Common	Yes	No	Installed	Installed	Estimated at maturity*	Estimated at maturity*	Estimated at maturity*	Estimated at maturity*	

\* Required for trees located underneath or adjacent to powerlines and palms used at 1:1 ratio  
ADDITIONAL INFORMATION MAY BE REQUIRED BY CHAPTER 18A.

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GENERAL SITE NOTES

DATE \_\_\_\_\_ ISSUE \_\_\_\_\_  
04/07/2014 ENTITLEMENTS



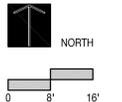


**North Bay Village II**  
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EXISTING SITE AERIAL

DATE	ISSUE
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**TREES & PLANTING TO BE PRESERVED NOTES**

- EXISTING TREES TO BE PRESERVED SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS THEY BEAR TO PRE-CONSTRUCTION GRADE.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED WITH STURDY, WEATHERPROOF FENCING AT A MINIMUM FOUR (4) FEET HEIGHT INSTALLED NO CLOSER TO THE TREE TRUNK THAN ITS DRIPLINE. THIS FENCE SHALL BE MAINTAINED IN WORKING ORDER DURING ALL PHASES OF CONSTRUCTION. MAINTAIN TREE PROTECTION ZONES FREE OF WEEDS AND TRASH.
- NO WORK SHALL BE CONDUCTED WITHIN THE DRIPLINE, UNLESS REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL WORK APPROVED WITHIN THE DRIPLINE SHALL BE COMPLETED BY HAND. PROTECT ROOT SYSTEMS FROM PONDING, ERODING, OR EXCESSIVE WETTING.
- THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.

**TREES & PLANTING TO BE RELOCATED NOTES**

- THE CONTRACTOR IS TO ROOT PRUNE ALL PLANT MATERIAL 90 DAYS MINIMUM IN ADVANCE OF MOVING PLANT MATERIAL.
- THE CONTRACTOR IS TO WARRANTY ALL RELOCATED PLANT MATERIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND FERTILIZING OF ALL PLANT RELOCATED PLANT MATERIAL UNTIL PROJECT COMPLETION.
- ALL RELOCATED PLANT MATERIAL IS TO BE APPROPRIATELY BRACED.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF ALL SCHEDULED WORK PERTAINING TO THE RELOCATION OF SITE TREES.

**TREES & PLANTING TO BE REMOVED NOTES**

- THE CONTRACTOR IS TO COMPLETELY REMOVE ALL PLANTER MATERIAL DESIGNATED FOR REMOVAL (I.E. ROOT BALL, DEBRIS, SAW DUST, ETC.).
- THE CONTRACTOR IS TO BACKFILL ALL EXCAVATED ROOT BALLS FLUSH TO THE ADJACENT ELEVATION LEVEL.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF ALL SCHEDULED WORK PERTAINING TO THE RELOCATION OF SITE TREES.

**TREE DISPOSITION SCHEDULE**

#	BOTANICAL NAME	COMMON NAME	DBH.	HT.	SPREAD	ACTION	NOTES
1	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	12"	35'	25'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL
2	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	35'	25'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL
3	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	14"	35'	25'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL
4	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	24"	35'	25'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL
5	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	24"	35'	25'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL
6	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	35'	25'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL
7	WASHINGTONIA ROBUSTA	WASHINGTON PALM	9"	60'	12'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
8	WASHINGTONIA ROBUSTA	WASHINGTON PALM	9"	16'	12'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
9	WASHINGTONIA ROBUSTA	WASHINGTON PALM	9"	16'	12'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
10	SYAGRUS ROMANZOFFIANA	QUEEN PALM	12"	24'	16'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
11	WASHINGTONIA ROBUSTA	WASHINGTON PALM	9"	16'	12'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
12	LATANIA LODDIGESII	BLUE LATAN PALM	9"	18'	16'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
13	WASHINGTONIA ROBUSTA	WASHINGTON PALM	9"	45'	12'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
14	WASHINGTONIA ROBUSTA	WASHINGTON PALM	9"	35'	12'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
15	ADONIDIA MERRILLII	CHRISTMAS PALM	4"	30'	8'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
16	ADONIDIA MERRILLII	CHRISTMAS PALM	4"	32'	8'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
17	WASHINGTONIA ROBUSTA	WASHINGTON PALM	9"	40'	12'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
18	BUCIDA BUCERAS	BLACK OLIVE	18"	30'	8'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
19	SYAGRUS ROMANZOFFIANA	QUEEN PALM	12"	24'	16'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
20	COCO NUCIFERA	COCONUT PALM	9"	30'	16'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
21	BUCIDA BUCERAS	BLACK OLIVE	24"	30'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
22	BUCIDA BUCERAS	BLACK OLIVE	18"	30'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
23	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	24"	30'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
24	BUCIDA BUCERAS	BLACK OLIVE	18"	30'	35'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
25	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	24"	30'	35'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
26	FICUS BENGHALENSIS	BANYAN TREE	60"	55'	50'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL
27	SABAL PALMETTO	SABAL PALM	18"	24'	12'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH INTENT OF SITE DESIGN'S PROGRAM
28	SABAL PALMETTO	SABAL PALM	18"	22'	12'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH INTENT OF SITE DESIGN'S PROGRAM
29	SABAL PALMETTO	SABAL PALM	18"	24'	12'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH INTENT OF SITE DESIGN'S PROGRAM
30	SYAGRUS ROMANZOFFIANA	QUEEN PALM	9"	24'	16'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
31	SYAGRUS ROMANZOFFIANA	QUEEN PALM	9"	24'	16'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
32	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	24"	40'	35'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
33	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	40'	35'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
34	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	36"	40'	35'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
35	SYAGRUS ROMANZOFFIANA	QUEEN PALM	9"	24'	16'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
36	PISCIDIA PISCIPULA	JAMAICA DOGWOOD	18"	30'	25'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
37	SYAGRUS ROMANZOFFIANA	QUEEN PALM	12"	20'	16'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
38	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	30'	28'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
39	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	28'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
40	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	24"	40'	24'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
41	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	36"	35'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
42	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	28'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
43	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	28'	26'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
44	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	28'	24'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
45	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	28'	24'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
46	SYAGRUS ROMANZOFFIANA	QUEEN PALM	12"	25'	16'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
47	SYAGRUS ROMANZOFFIANA	QUEEN PALM	12"	25'	16'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
48	PISCIDIA PISCIPULA	JAMAICA DOGWOOD	10"	24'	20'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
49	SYAGRUS ROMANZOFFIANA	QUEEN PALM	12"	25'	16'	REMOVE	PLANT MATERIAL IS ON THE STATE OF FLORIDA INVASIVE SPECIES LIST
50	PHOENIX RECLINATA 'HYBRID'	SPIDER PHOENIX	MS	28'	18'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH INTENT OF SITE DESIGN'S PROGRAM
51	LATANIA LODDIGESII	BLUE LATAN PALM	9"	18'	16'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE

North Bay Village II

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TREE DISPOSITION NOTES  
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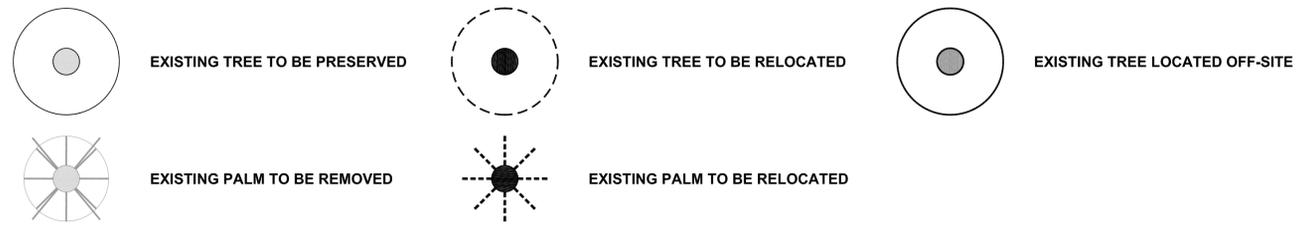
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**TREE DISPOSITION PLAN**

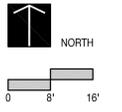
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**TREE & PALM DISPOSITION PLAN LEGEND**



**TREE & PALM DISPOSITION QUANTITY**

TREES & PALMS TO BE PRESERVED	7
TREES & PALMS TO BE RELOCATED	28
TREES & PALMS TO BE REMOVED	16



**L101**

**MATERIALS NOTES**

1. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
2. ALL CONSTRUCTION AND MATERIALS NOT SPECIFICALLY ADDRESSED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS.
3. THE CONTRACTOR SHALL PROVIDE A FULL-SCALE MOCKUP AND RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ALL SYSTEMS BEFORE BEGINNING CONSTRUCTION OF PAVEMENT.
4. EXPANSION JOINTS SHALL BE PROVIDED WHERE FLATWORK MEETS VERTICAL STRUCTURES, SUCH AS WALLS, CURBS, STEPS, AND OTHER HARDSCAPE ELEMENTS. EXPANSION JOINTS SHALL ALSO BE PROVIDED AT MATERIAL CHANGES. EXPANSION JOINT MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
5. CONTROL JOINTS SHOULD BE SPACED NO GREATER THAN TEN (10) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. EXPANSION JOINTS SHOULD BE SPACED NO GREATER THAN FORTY (40) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL ADVISE ON OTHER JOINTS AS NEEDED TO MINIMIZE CRACKING. THIS INFORMATION SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. CONTROL JOINTS SHALL BE PROVIDED AS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTROL JOINT MATERIALS, METHODS AND RECOMMENDATIONS ON ADDITIONAL CONTROL JOINTS TO MINIMIZE CRACKING SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
7. ALL STEPS SHALL HAVE TWELVE (12) INCH TREADS AND SIX (6) INCH RISERS, UNLESS OTHERWISE SPECIFIED.
8. HOLD TOP OF WALLS AND FENCES LEVEL, UNLESS OTHERWISE SPECIFIED.
9. CONTRACTOR SHALL NOT INSTALL WORK LOCATED ON TOP OF ARCHITECTURAL STRUCTURES WITHOUT FIRST REVIEWING ARCHITECTURAL DRAWINGS.
10. SAMPLES OF SPECIFIED MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING FOR JOB.



**59" NEO COMBO BACKED BENCH**

COLOR: N/A  
FINISH: ALUMINUM  
DIMENSIONS: 27" x 39" x 59"  
SOURCE: LANDSCAPE FORMS



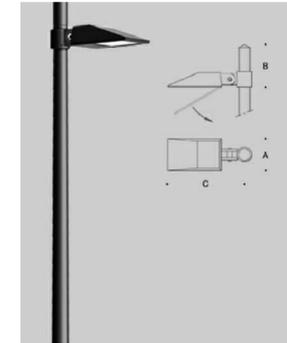
**PARC VUE TRASH RECEPTACLE**

COLOR: BLACK  
FINISH: POWDER COAT TOP OPENING  
DIMENSIONS: 27" x 36"  
SOURCE: LANDSCAPE FORMS



**3880G DRINKING FOUNTAIN**

COLOR: STAINLESS STEEL  
FINISH: BRUSH  
DIMENSIONS: N/A  
SOURCE: HAWS DRINKING FOUNTAINS



**7068 LED OVERHEAD LAMP**

COLOR: BLACK  
FINISH: POWDER COAT  
DIMENSIONS: 13' 8" POLE  
SOURCE: BEGA US

**LAYOUT NOTES**

1. LAYOUT AND VERIFY DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ALL LAYOUTS CONTAINED IN THE CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION.
2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DIMENSIONS FROM REDUCED DRAWINGS.
3. DIMENSIONS REFERRED TO AS "EQUAL" INDICATE SPACING WHICH IS EQUIDISTANT MEASURED TO THE CENTERLINES.
4. MEASUREMENTS ARE TO THE FINISHED FACE OF BUILDINGS, WALLS, OR OTHER FIXED SITE IMPROVEMENTS. DIMENSIONS TO CENTERLINES ARE IDENTIFIED AS SUCH.
5. INSTALL INTERSECTING ELEMENTS AT 90-DEGREE ANGLES, UNLESS OTHERWISE INDICATED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS INDICATED IN CONTRACT DOCUMENTS.
6. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.
7. PEDESTRIAN WALKWAYS TO BE MINIMUM 6 FEET WIDE THROUGH ENTIRE PROMENADE.
8. RIP-RAP SHALL BE PLACED ALONG THE PROPOSED SEAWALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 24 OF THE CODE OF MIAMI-DADE COUNTY.
9. THE ELEVATION OF THE TOP OF THE SEAWALL SHALL BE A MINIMUM OF 6 INCHES AND MAXIMUM OF 8 INCHES ABOVE ADJACENT PEDESTRIAN WALKING SURFACE. THE LANDSIDE EDGE OF THE SEAWALL SHALL BE BEVELED AT A 45 DEGREE ANGLE.
10. THE PEDESTRIAN WALKWAY SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS FOR ACCESSIBILITY FOR THE PHYSICALLY DISABLED AND/OR HANDICAPPED PROVIDED IN SECTION 515 OF THE SOUTH FLORIDA BUILDING CODE.
11. THE WALKWAY SURFACE SHALL BE SLOPED TOWARDS AN ACCEPTABLE DRAINAGE DISPOSAL SYSTEM CONSTRUCTED IN CONFORMANCE WITH SECTION 4611 OF THE SOUTH FLORIDA BUILDING CODE AND CHAPTER 24 OF THE CODE MIAMI-DADE COUNTY.



**8657 PATHWAY LIGHT BOLLARD**

COLOR: BLACK  
FINISH: POWDER COAT  
DIMENSIONS: 21 5/8"  
SOURCE: BEGA US



**SHORELINE SIGNAGE**

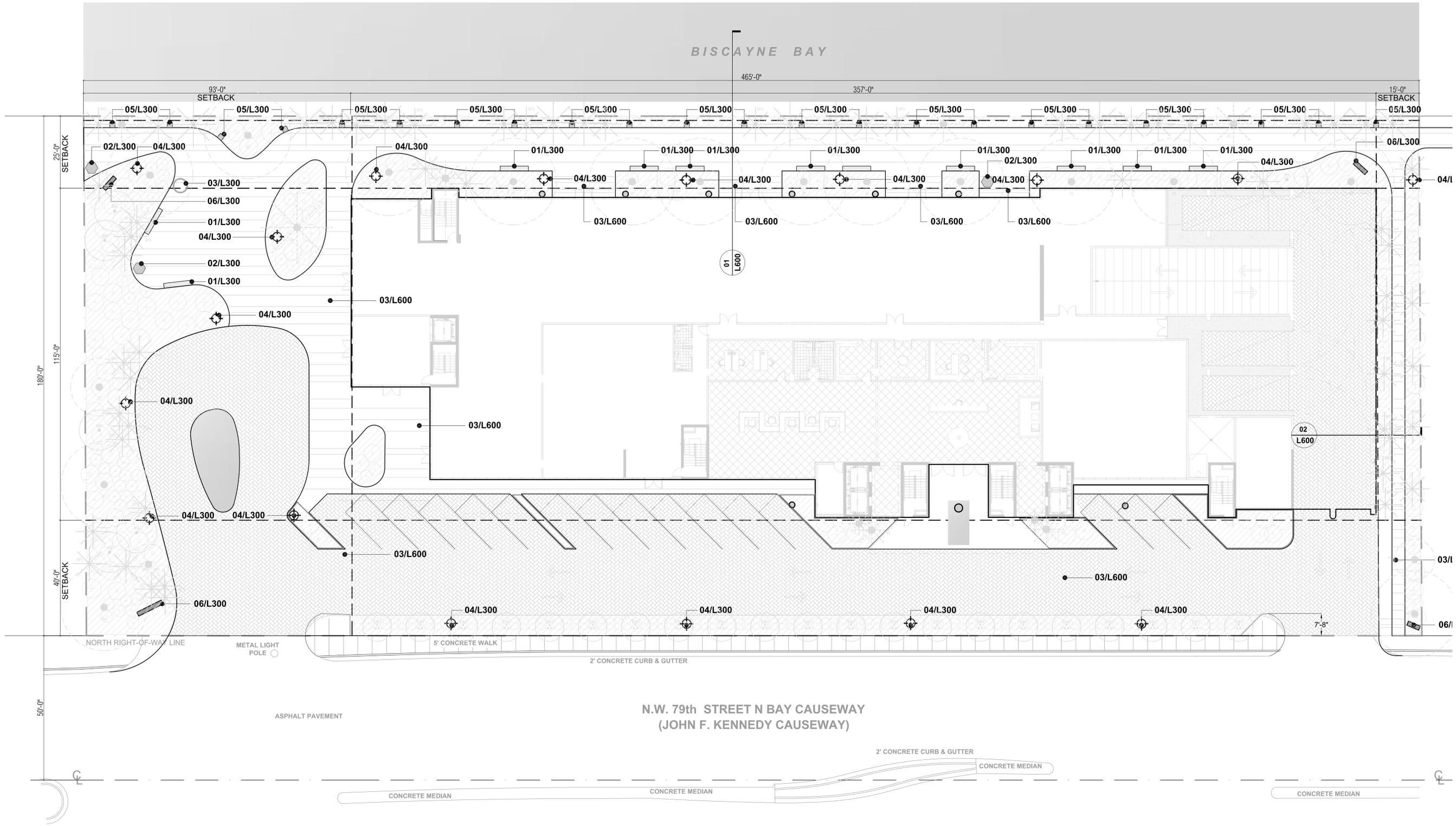
COLOR: MIAMI DADE STD  
FINISH: MIAMI DADE STD  
DIMENSIONS: MIAMI DADE STD  
SOURCE: MIAMI DADE STD

**CONCRETE PAVERS**

COLOR: TBD  
FINISH: TBD  
DIMENSIONS: TBD  
SOURCE: TBD

SEAL  
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MATERIALS SCHEDULE & NOTES	
DATE	ISSUE
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**North Bay Village II**

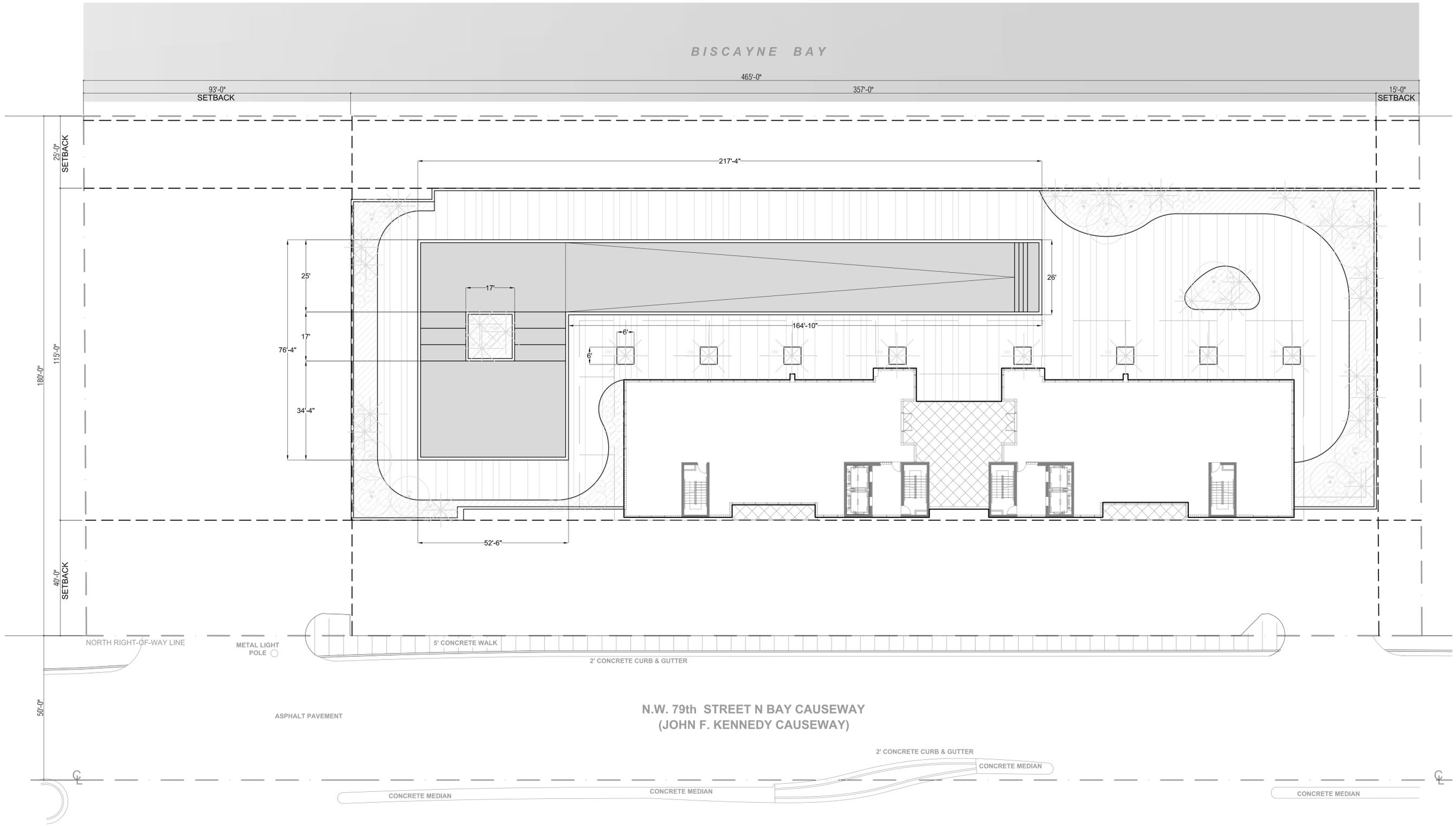
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GROUND LEVEL  
MATERIALS & LAYOUT PLAN  
DATE: 04/07/2014  
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**MATERIALS & LAYOUT LEGEND**

- (01/L300) LANDSCAPE FORMS 118" WIDE BENCH (11 COUNT)
- (02/L300) LANDSCAPE FORMS PARC VIEW TRASH RECEPTICAL (3 COUNT)
- (03/L300) HAWS 3380 BARRIER FREE STAINLESS STEEL FOUNTAIN (1 COUNT)
- (04/L300) BEGA OVERHEAD LIGHTING (17 COUNT)
- (05/L300) PATHWAY LIGHTING BOLLARDS (23 COUNT)
- (06/L300) PUBLIC SHOREWALK SIGNAGE
- (07/L300) PAVEMENT (23407.9 sq.ft.)



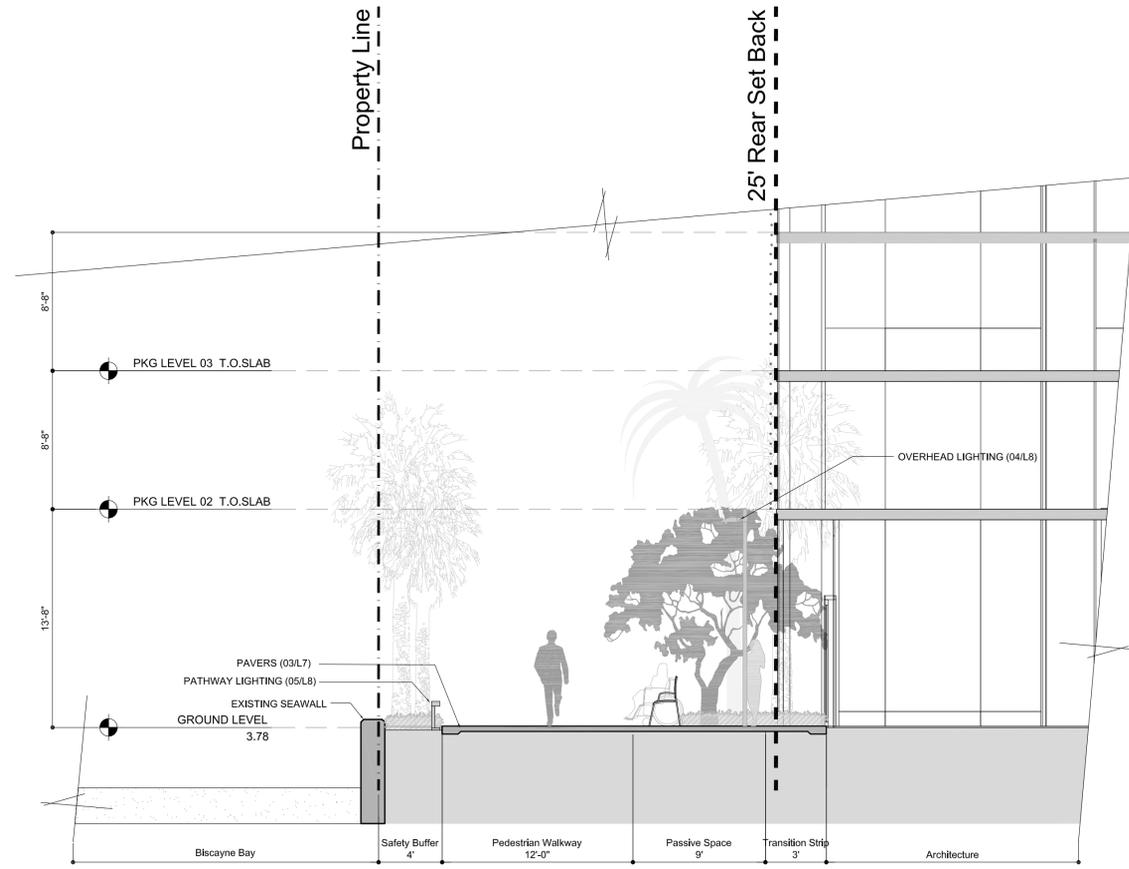
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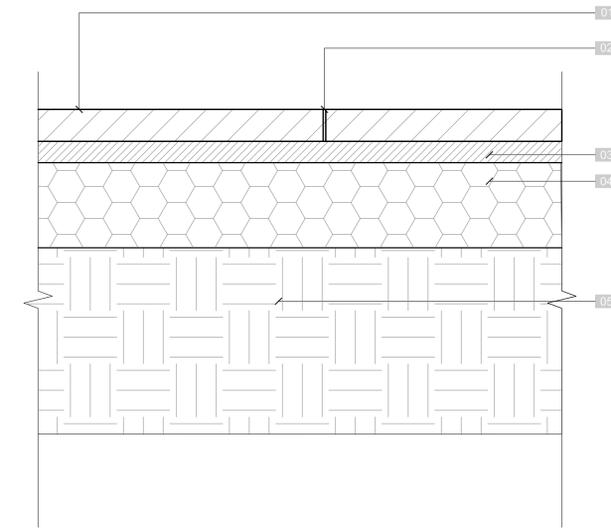
7th LEVEL  
MATERIALS & LAYOUT PLAN  
DATE: 04/07/2014  
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**MATERIALS & LAYOUT LEGEND**

- (07/L300) PAVEMENT (15613.9 sq.ft.)
- SWIMMING POOL (7420.8 sq.ft.)

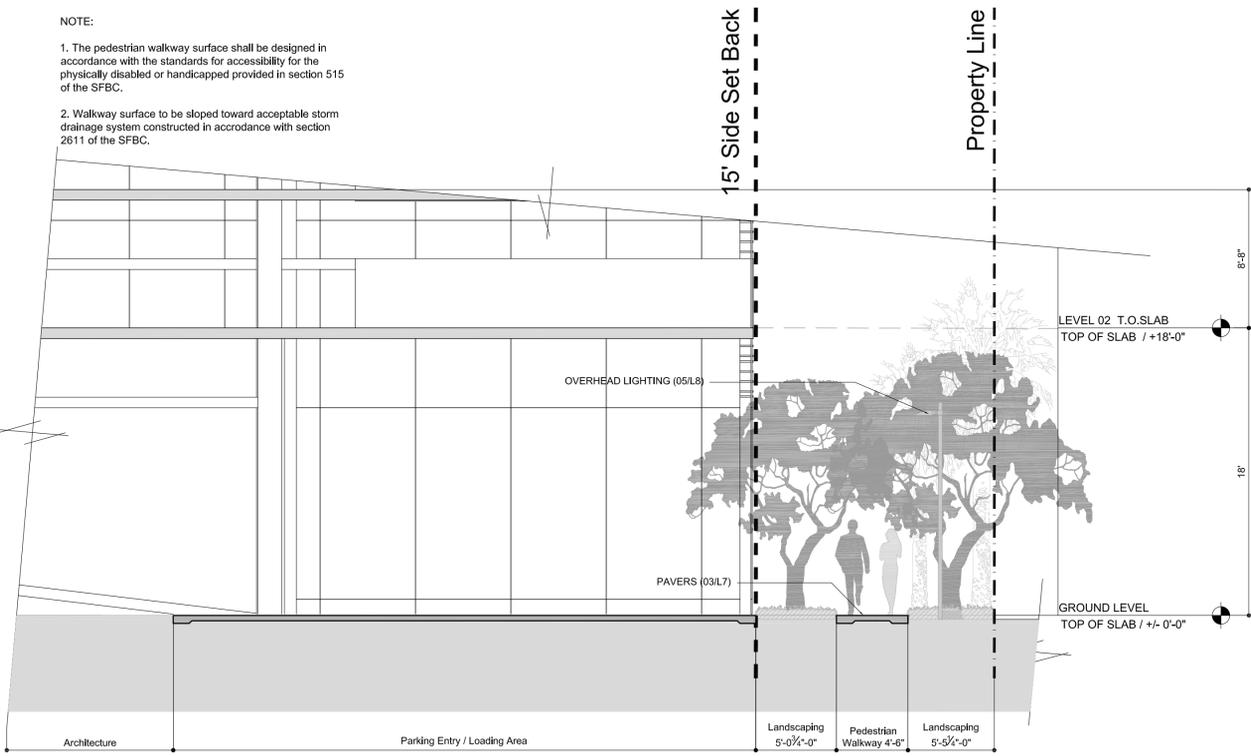


01 SECTION A-A  
SCALE: 3/8" = 1'-0"



- Key:
- 2" PAVER
  - 1/8" JOINT
  - 1" SAND SETTING BED
  - 4" COMPACTED GRAVEL BASE
  - UNDISTURBED SUBGRADE OR 95% COMPACTED FILL
- NOTE:
- WALKWAY SURFACE TO BE SLOPED TOWARD ACCEPTABLE STORM DRAINAGE SYSTEM CONSTRUCTED IN ACCORDANCE WITH SECTION 2611 OF THE FBC.

03 CONCRETE PAVER SAND SET  
SCALE: 3/8" = 1'-0"



01 SECTION A-A  
SCALE: 3/8" = 1'-0"

North Bay Village II

1555 KENNEDY CAUSEWAY | NORTH BAY VILLAGE, FL 33141

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DETAILS

DATE	ISSUE
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SCALE AS NOTED:

L600

**PLANTING NOTES**

- PLANT MATERIAL IS TO BE HEALTHY SPECIMENS FREE FROM DISEASE OR DAMAGE, AND IS TO BE MAINTAINED IN EXCELLENT CONDITION WHILE ON THE JOBSITE. LANDSCAPE ARCHITECT SHALL INSPECT PLANT MATERIAL UPON ARRIVAL TO JOBSITE AND WILL REJECT PLANT MATERIAL THAT DOES NOT MEET THE STANDARDS DESCRIBED WITHIN THE CONTRACT DOCUMENTS.
- THE LANDSCAPE ARCHITECT WILL PERIODICALLY INSPECT PLANT MATERIAL STOCKPILED AND/OR PLANTED ON SITE DURING THE COURSE OF CONSTRUCTION. PLANT MATERIAL NOT MEETING THE STANDARDS CONTAINED WITHIN CONTRACT DOCUMENTS SHALL BE REPLACED AT NO COST TO THE OWNER.
- PROVIDE MATCHING SIZES AND FORMS FOR EACH PLANT OF THE SAME SPECIES UNLESS OTHERWISE INDICATED.
- CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF DISCREPANCIES, GRAPHICALLY SHOWN QUANTITIES SHALL TAKE PRECEDENCE.
- ALL MATERIALS USED SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE INSTALLED PLUMB AND PER THE SPECIFICATIONS CONTAINED WITHIN THE CONTRACT DOCUMENTS. ANY NECESSARY STAKING AND/OR OTHER SUPPORTS MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL PRUNE EXISTING AND/OR NEW TREES ONLY PER LANDSCAPE ARCHITECT DIRECTION.
- THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL TREES AND B&B SHRUBS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
- ALL ROOT-WRAPPING MATERIALS THAT ARE NOT BIO-DEGRADABLE SHALL BE REMOVED FROM THE ROOT BALL. ROOT BALLS SHALL BE FREE OF WEEDS.
- SPECIFIED PLANT MATERIAL SIZES SHALL BE CONSIDERED MINIMUM SIZES.
- FINISH GRADE OF PLANTING BEDS SHALL BE ONE (1) INCH BELOW ADJACENT FLATWORK, UNLESS SPECIFIED OTHERWISE.
- MULCH OR PLANTING BED DRESSING SHALL BE PLACED IN ALL PLANTING AREAS AS SPECIFIED. MULCH OR PLANTING BED DRESSING SHALL NOT BE PLACED WITHIN SIX (6) INCHES OF TREE TRUNKS. MULCHING SHOULD BE REPEATED ANNUALLY DURING THE AUTUMN TO A THREE (3) INCH DEPTH.
- ALL PLANT MATERIAL SHOULD RECEIVE AN ORGANIC FERTILIZER IN LIMITED APPLICATION FOLLOWING INSTALLATION. TYPE AND APPLICATION RATE AND METHOD OF APPLICATION TO BE SPECIFIED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
- EXCESS FERTILIZER SHALL BE DISPOSED OF PROPERLY OFF-SITE. IT SHALL NOT BE DISPOSED OF IN STORM DRAINS AND/OR DRYWELLS.
- STOCKPILED PLANT MATERIAL TO BE PLACED IN THE SHADE AND PROPERLY HAND-WATERED UNTIL PLANTED.
- MINI-NUGGET TYPE DECORATIVE BARK MULCH WILL BE USED TO RETURN NUTRIENTS TO THE SOIL, REDUCE MAINTENANCE AND MINIMIZE EVAPORATION FOR AREAS APPROXIMATE TO THE RESIDENCE. LARGER SHREDDED BARK MULCH WILL BE USED FOR STEEP AREAS SO SLOUGHING IS LESS LIKELY TO OCCUR.
- PRESERVE & PROTECT ALL EXISTING VEGETATION INDICATED TO REMAIN AT ALL TIMES.
- ALL VEGETATION PROPOSED FOR OUTSIDE THE BUILDING ENVELOPE TO BE NATIVE UNLESS OTHERWISE NOTED. PLANTING THAT OCCURS OUTSIDE THE BUILDING ENVELOPE IS FOR RESTORATION PURPOSES ONLY OR IS SPECIFIC TO UTILITIES RESTORATION.
- SIX (6) INCH PLANT MIX SHALL BE PROVIDED FOR ALL LAWN, TURF, AND NATIVE PLANTING ZONES. 18 INCH PLANT MIX SHALL BE PROVIDED FOR ALL PERENNIAL PLANTING BEDS UNLESS OTHERWISE NOTED.

**PLANTING SCHEDULE**

GROUND LEVEL RELOCATED TREES & PALMS							
#	BOTANICAL NAME	COMMON NAME	DBH.	HT.	SPREAD	ACTION	NOTES
12	LATANIA LODDIGESII	BLUE LATAN PALM	9"	18'	16'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
15	ADONIDIA MERRILLII	CHRISTMAS PALM	4"	30'	8'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
16	ADONIDIA MERRILLII	CHRISTMAS PALM	4"	32'	8'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
18	BUCIDA BUCERAS	BLACK OLIVE	18"	30'	8'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
20	COCO NUCIFERA	COCONUT PALM	9"	30'	16'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
21	BUCIDA BUCERAS	BLACK OLIVE	24"	30'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
22	BUCIDA BUCERAS	BLACK OLIVE	18"	30'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
23	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	24"	30'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
24	BUCIDA BUCERAS	BLACK OLIVE	18"	30'	35'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
25	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	24"	30'	35'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
27	SABAL PALMETTO	SABAL PALM	18"	24'	12'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH INTENT OF SITE DESIGN'S PROGRAM
28	SABAL PALMETTO	SABAL PALM	18"	22'	12'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH INTENT OF SITE DESIGN'S PROGRAM
29	SABAL PALMETTO	SABAL PALM	18"	24'	12'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH INTENT OF SITE DESIGN'S PROGRAM
32	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	24"	40'	35'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
33	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	40'	35'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
34	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	36"	40'	35'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
36	PISCIDIA PISCIPULA	JAMAICA DOGWOOD	18"	30'	25'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
38	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	30'	28'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
39	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	28'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
40	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	24"	40'	24'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
41	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	36"	35'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
42	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	28'	30'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
43	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	28'	26'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
44	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	28'	24'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
45	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	18"	28'	24'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
48	PISCIDIA PISCIPULA	JAMAICA DOGWOOD	10"	24'	20'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
50	PHOENIX RECLINATA 'HYBRID'	SPIDER PHOENIX	MS	28'	18'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH INTENT OF SITE DESIGN'S PROGRAM
51	LATANIA LODDIGESII	BLUE LATAN PALM	9"	18'	16'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE

GROUND LEVEL PLANTING				
ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
<b>TREES</b>				
BSI	7	BUSERA SIMARUBA	GUMBO LIMBO	FG. 16' - 18' HT. OA., 4" DBH MIN. (NATIVE TREE)
ERH	19	EUGENIA RHOMBEA	RED STOPPER	45 GAL. 10' - 12' HT. OA. (NATIVE TREE)
<b>PALMS</b>				
SP1	13	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 24' GW. (NATIVE PALM)
SP2	16	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 28' GW. (NATIVE PALM)
SP3	14	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 32' GW. (NATIVE PALM)
SP4	8	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 36' GW. (NATIVE PALM)
CN1	3	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 26' GW.
CN2	4	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 30' GW.
CN3	5	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 34' GW.
<b>UNDERSTORY TREES &amp; SHRUBS</b>				
TDA	120	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	7 GAL., 18" HT. MIN. 30" OC. MAX. (NATIVE SHRUB)
SRE	60	SERENOA REPENS	SILVER SAW PALMETTO	15 GAL. 3' x 3' 30" OC. MAX. (NATIVE SHRUB)
MFR	28	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	4' - 6' HT. OA. 60 GAL. 48" OC. MAX (NATIVE SHRUB)
GLU	26	GYMNANTHES LUCIDA	CRABWOOD	4' - 6' HT. OA. 60 GAL. 48" OC. MAX (NATIVE SHRUB)
GCL	28	GENIPA CLUSIFOLIA	7 YEAR APPLE	4' - 6' HT. OA. 60 GAL. 48" OC. MAX (NATIVE SHRUB)
CCY	104	CAPPARIS CYNOPHALLOPHORA	JAMAICA CAPER	4' - 6' HT. OA. 60 GAL. 48" OC. MAX (NATIVE SHRUB)
PNE	124	PSYCHOTRIA NERVOSA	WILD COFFEE	7 GAL. 18" HT. MIN. 30" OC. MAX (NATIVE SHRUB)
STO	72	SOPHORA TOMENTOSA	NECKLACE POD	7 GAL. 18" HT. MIN. 30" OC. MAX (NATIVE SHRUB)
<b>GROUNDCOVERS</b>				
ELI	12,448 sqft.	ERNODEA LITTORALIS	GOLDEN CREEPER	3 GAL. 18" OC. (NATIVE GROUNDCOVER)

7th LEVEL PLANTING				
ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
<b>TREES</b>				
BSI	12	BUSERA SIMARUBA	GUMBO LIMBO	FG. 16' - 18' HT. OA., 4" DBH MIN. (NATIVE TREE)
<b>PALMS</b>				
SP1	6	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 24' GW. (NATIVE PALM)
SP2	4	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 28' GW. (NATIVE PALM)
SP3	7	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 32' GW. (NATIVE PALM)
SP4	5	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 36' GW. (NATIVE PALM)
CN1	4	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 26' GW.
CN2	3	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 30' GW.
CN3	4	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 34' GW.
<b>UNDERSTORY TREES &amp; SHRUBS</b>				
TDA	64	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	7 GAL., 18" HT. MIN. 30" OC. MAX. (NATIVE SHRUB)
SRE	16	SERENOA REPENS	SILVER SAW PALMETTO	15 GAL. 3' x 3' 30" OC. MAX. (NATIVE SHRUB)
HPA	64	HAMELIA PATENS	FIREBUSH	7 GAL. 18" HT. MIN. 30" OC. MAX (NATIVE SHRUB)
<b>GROUNDCOVERS</b>				
ELI	4,672 sqft.	ERNODEA LITTORALIS	GOLDEN CREEPER	3 GAL. 18" OC. (NATIVE GROUNDCOVER)

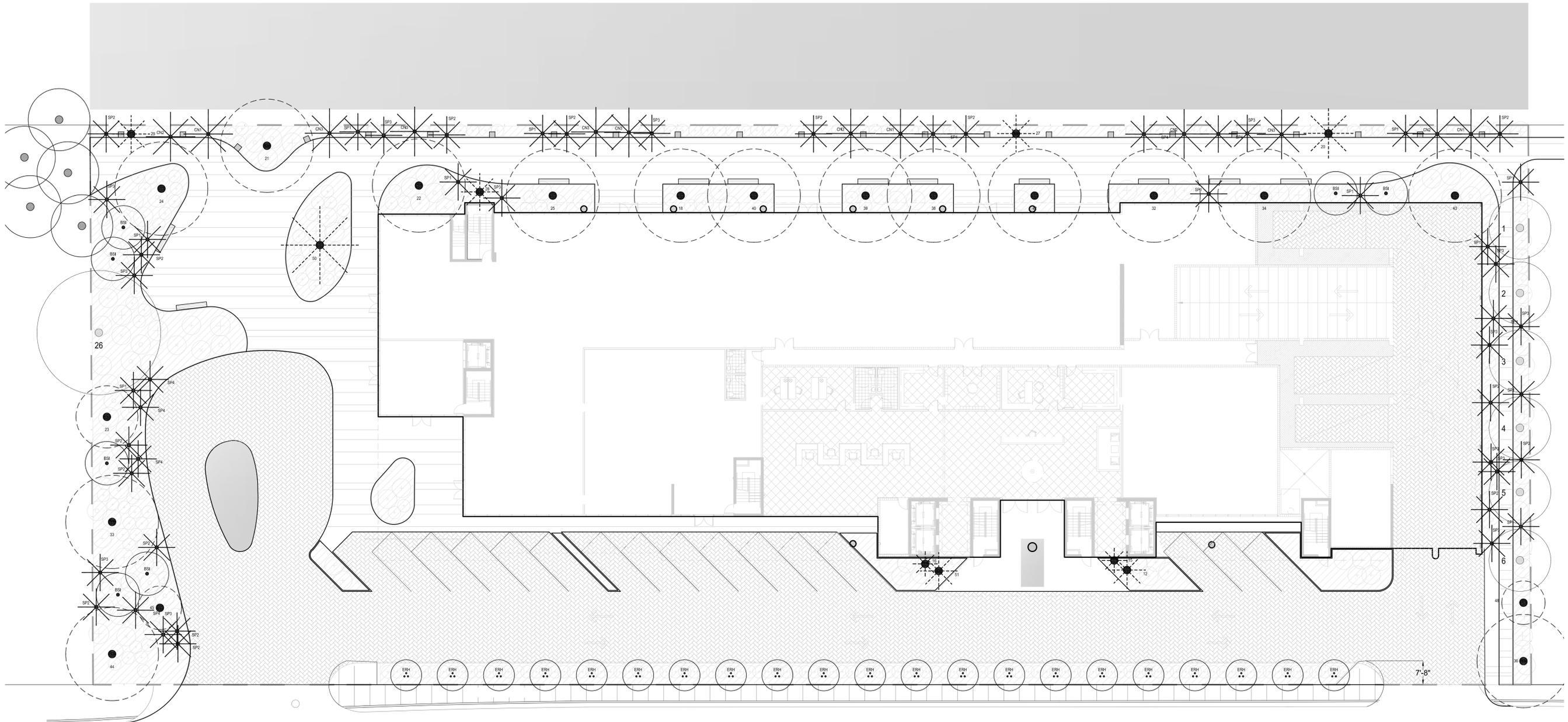
North Bay Village II

1555 KENNEDY CAUSEWAY | NORTH BAY VILLAGE, FL 33141

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**PLANTING SCHEDULE & NOTES**  
DATE: 04/07/2014  
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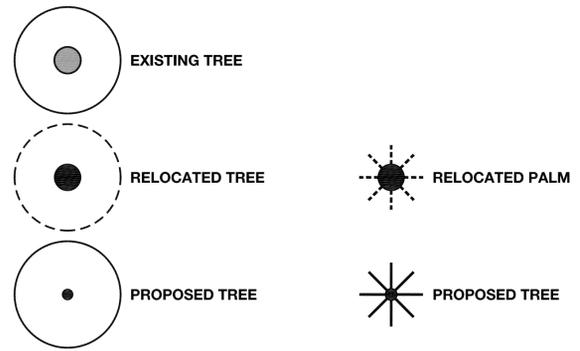
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**North Bay Village II**  
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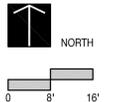
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**TREE & PALM PLANTING PLAN LEGEND**

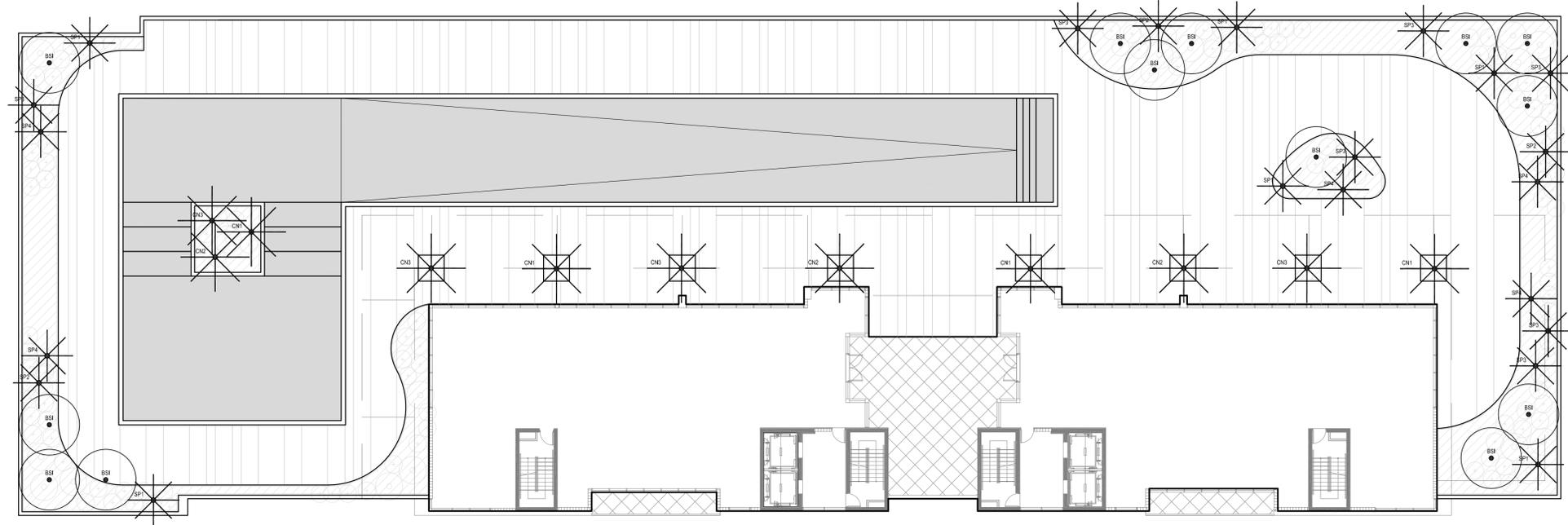


GROUND LEVEL PLANTING				
ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
<b>RELOCATED TREES &amp; SHRUBS: REFER TO SHEET L100, L101, &amp; L700</b>				
<b>TREES</b>				
BSI	7	BUSERA SIMARUBA	GUMBO LIMBO	FG. 16' - 18' HT. OA., 4" DBH MIN. (NATIVE TREE)
ERH	19	EUGENIA RHOMBEA	RED STOPPER	45 GAL. 10' - 12' HT. OA. (NATIVE TREE)
<b>PALMS</b>				
SP1	13	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 24' GW. (NATIVE PALM)
SP2	16	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 28' GW. (NATIVE PALM)
SP3	14	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 32' GW. (NATIVE PALM)
SP4	8	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 36' GW. (NATIVE PALM)
CN1	3	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 26' GW.
CN2	4	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 30' GW.
CN3	5	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 34' GW.

GROUND LEVEL  
**TREE & PALM PLANTING PLAN**  
DATE: 04/07/2014 ISSUE: ENTITLEMENTS



**L701**



**North Bay Village II**  
1555 KENNEDY CAUSEWAY | NORTH BAY VILLAGE, FL 33141

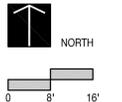
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**TREE & PALM PLANTING PLAN LEGEND**

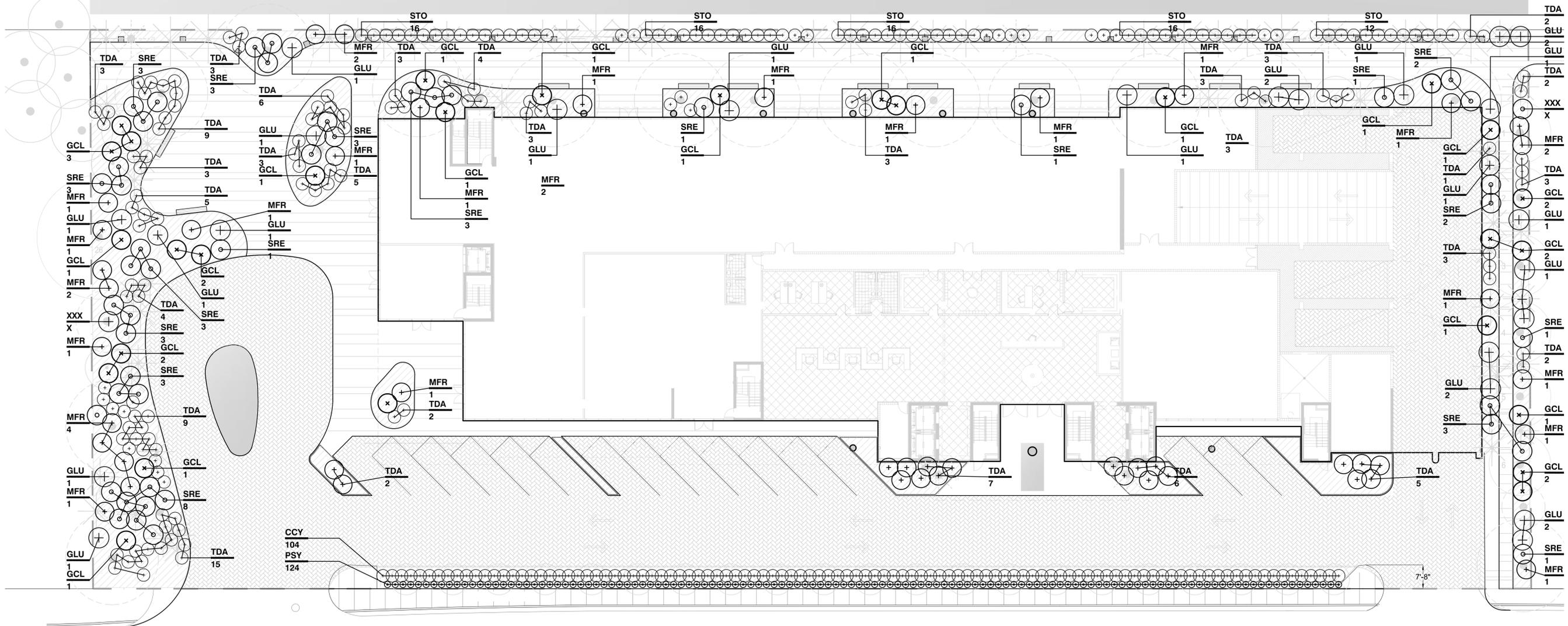


7th LEVEL PLANTING				
ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
<b>TREES</b>				
BSI	12	BUSERA SIMARUBA	GUMBO LIMBO	FG. 16' - 18' HT. OA., 4" DBH MIN. (NATIVE TREE)
<b>PALMS</b>				
SP1	6	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 24' GW. (NATIVE PALM)
SP2	4	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 28' GW. (NATIVE PALM)
SP3	7	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 32' GW. (NATIVE PALM)
SP4	5	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 36' GW. (NATIVE PALM)
CN1	4	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 26' GW.
CN2	3	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 30' GW.
CN3	4	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 34' GW.

7th LEVEL  
**TREE & PALM PLANTING PLAN**  
DATE: 04/07/2014 ISSUE: ENTITLEMENTS



**L702**



**North Bay Village II**

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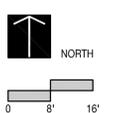
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**UNDERSTORY PLANTING PLAN LEGEND**

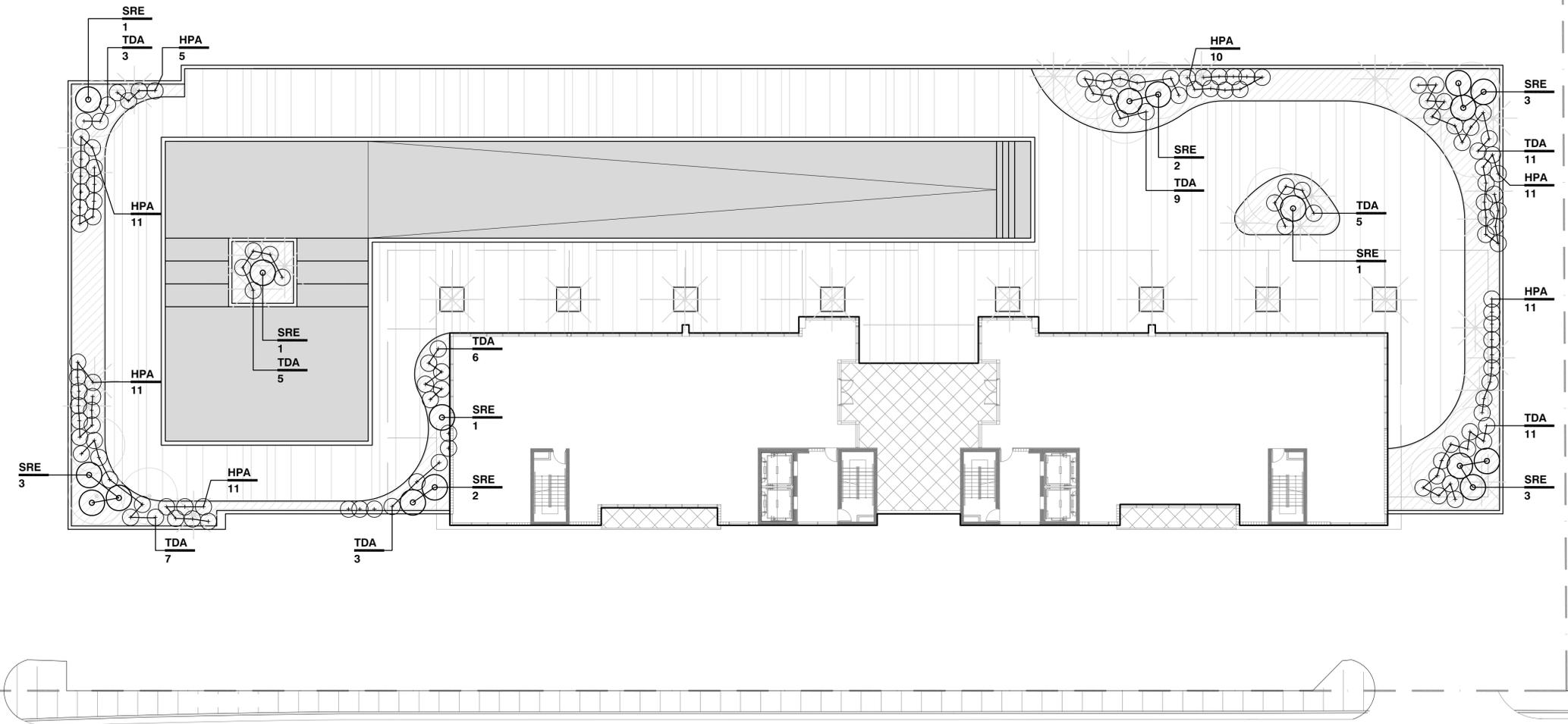


GROUND LEVEL PLANTING				
UNDERSTORY TREES & SHRUBS				
TDA	120	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	7 GAL., 18" HT. MIN. 30" OC. MAX. (NATIVE SHRUB)
SRE	60	SERENOA REPENS	SILVER SAW PALMETTO	15 GAL. 3' x 3' 30" OC. MAX. (NATIVE SHRUB)
MFR	28	MYRCIANTHES FRAGRANS	SIMPSON STOPPER	4' - 6' HT. OA. 60 GAL. 48" OC. MAX (NATIVE SHRUB)
GLU	26	GYMNANTHES LUCIDA	CRABWOOD	4' - 6' HT. OA. 60 GAL. 48" OC. MAX (NATIVE SHRUB)
GCL	28	GENIPA CLUSIFOLIA	7 YEAR APPLE	4' - 6' HT. OA. 60 GAL. 48" OC. MAX (NATIVE SHRUB)
CCY	104	CAPPARIS CYNOPHALLOPHORA	JAMAICA CAPER	4' - 6' HT. OA. 60 GAL. 48" OC. MAX (NATIVE SHRUB)
PNE	124	PSYCHOTRIA NERVOSA	WILD COFFEE	7 GAL. 18" HT. MIN. 30" OC. MAX (NATIVE SHRUB)
STO	72	SOPHORA TOMENTOSA	NECKLACE POD	7 GAL. 18" HT. MIN. 30" OC. MAX (NATIVE SHRUB)
GROUNDCOVERS				
ELI	12,448 sqft.	ERNODEA LITTORALIS	GOLDEN CREEPER	3 GAL. 18" OC. (NATIVE GROUNDCOVER)

GROUND LEVEL  
UNDERSTORY PLANTING PLAN  
DATE: 04/07/2014  
ISSUE: ENTITLEMENTS



**L703**



**North Bay Village II**  
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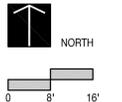
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**UNDERSTORY PLANTING PLAN LEGEND**

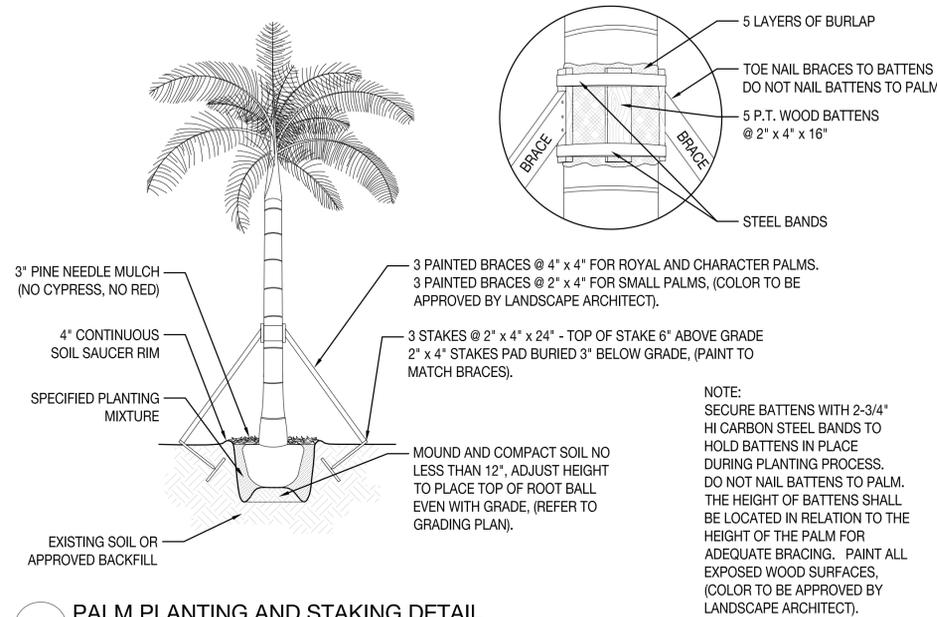


7th LEVEL PLANTING				
UNDERSTORY TREES & SHRUBS				
TDA	64	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	7 GAL., 18" HT. MIN. 30" OC. MAX. (NATIVE SHRUB)
SRE	16	SERENOA REPENS	SILVER SAW PALMETTO	15 GAL. 3' x 3' 30" OC. MAX. (NATIVE SHRUB)
HPA	64	HAMELIA PATENS	FIREBUSH	7 GAL. 18" HT. MIN. 30" OC. MAX (NATIVE SHRUB)
GROUNDCOVERS				
ELI	4,672 sqft.	ERNODEA LITTORALIS	GOLDEN CREEPER	3 GAL. 18" OC. (NATIVE GROUNDCOVER)

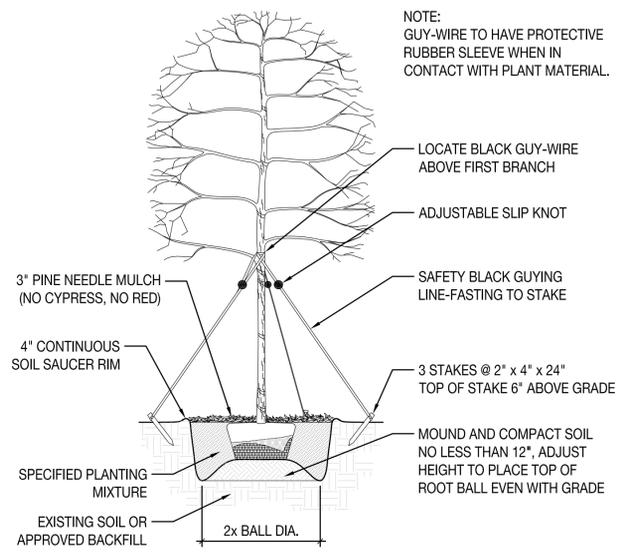
7th LEVEL  
UNDERSTORY PLANTING PLAN  
DATE: 04/07/2014 ISSUE: ENTITLEMENTS



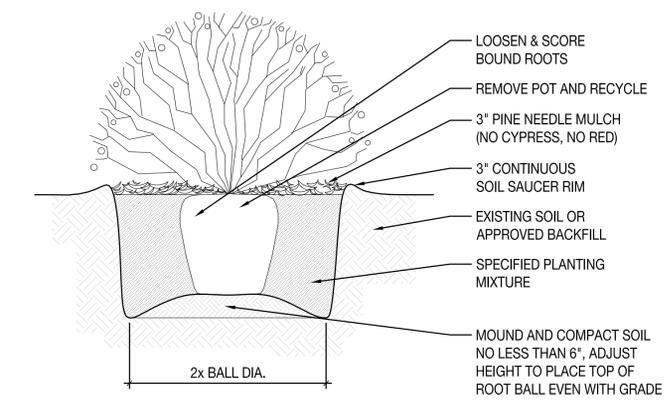
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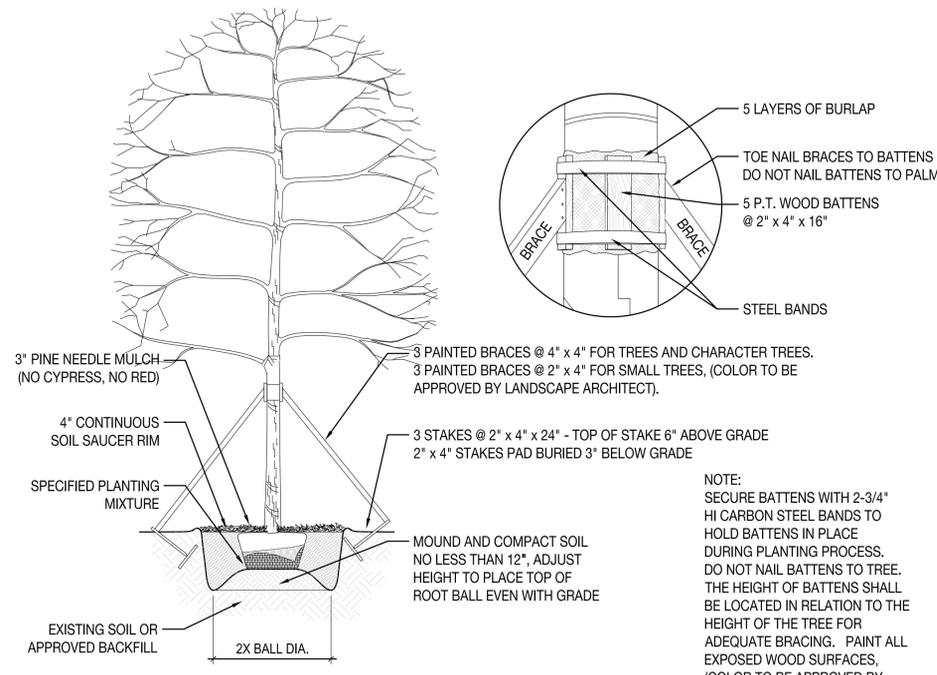
**1 PALM PLANTING AND STAKING DETAIL**  
SCALE: 3/32" = 1'- 0"



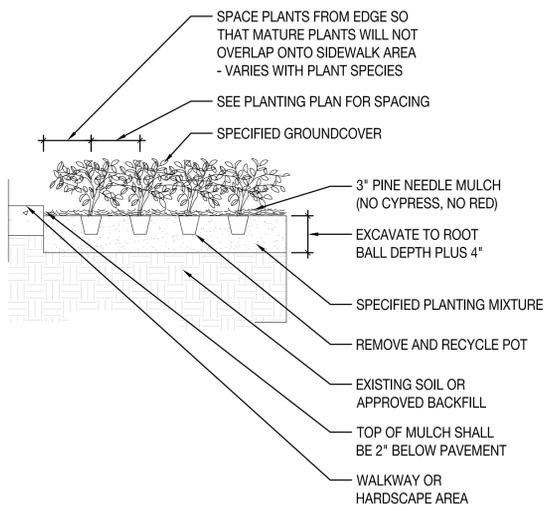
**2 UNDERSTORY TREE PLANTING AND STAKING DETAIL**  
SCALE: 3/32" = 1'- 0"



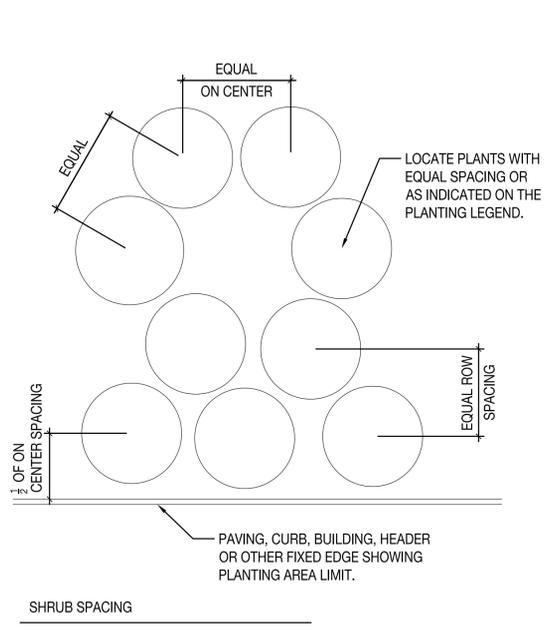
**3 SHRUB PLANTING DETAIL**  
SCALE: 3/32" = 1'- 0"



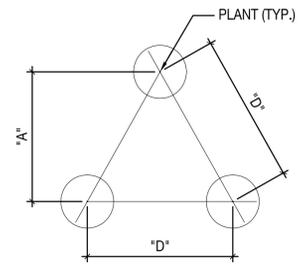
**4 TREE PLANTING AND STAKING DETAIL**  
SCALE: 3/32" = 1'- 0"



**5 GROUND COVER PLANTING DETAIL**  
SCALE: 3/32" = 1'- 0"



**6 PLANT & SHRUB SPACING DETAIL**  
SCALE: 3/32" = 1'- 0"



TRIANGULAR PLANT SPACING CHART FOR GROUNDCOVERS AND PERENNIALS

ROW	SPACING	
	"D"	"A"
18" O.C.	15" O.C.	
24" O.C.	21" O.C.	
36" O.C.	31" O.C.	

GROUNDCOVER & PERENNIAL SPACING

SEAL  
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PLANTING DETAILS

DATE	ISSUE
04/07/2014	ENTITLEMENTS

SCALE AS NOTED:

# IRRIGATION SPECIFICATION

## GENERAL NOTES:

Irrigation plans are schematic in nature. All valves and pipes shall be located in landscape areas, except at road/paving crossings. Some sprinkler mains and control valves are shown in paved areas for clarity. They shall be installed at the edges of landscape spaces. ALL PIPE UNDER PAVING SHALL BE SLEEVED. All material shall be new. It is the contractors responsibility to supply all material, equipment and labor to install a complete, operational, system as shown on this plan. Permits and code compliance is the responsibility of the contractor. If there are changes in the site plan, it is the contractors responsibility to notify the architect so that the irrigation system can be properly modified to accommodate the site modification. It is the contractors responsibility to see that the system is finally adjusted to have full coverage with no overspray onto pavement, and that all heads are set to proper height and vertical with the final grade. Turn pressure or flow regulation, on valves, down to lowest possible operational setting to prevent misting of spray heads. Any conditions not shown in the drawings, shall be provided by the contractor as shop drawings, prior to installation. Shop drawings shall be submitted for approval to the Owners representative. Any changes shall be submitted in writing and approval shall be in writing prior to installation. As-built drawings prepared by the contractor shall be turned over to the Owner prior to final acceptance. GPS coordinates for all valves and changes of direction on the main line shall be part of the As-built drawings. Submittals for all irrigation equipment being used on this project shall be submitted by the contractor. Approval of the equipment in these submittals, in writing, shall be required prior to equipment being brought to this job site.

## SITE CONDITIONS:

Care must be taken not to damage any underground utilities or existing irrigation systems. Repair of damages will be the responsibility of the irrigation contractor. See owners representative for details. Safety on the job is the responsibility of the irrigation contractor. It is the responsibility of the irrigation contractor to see that surface drainage is NOT modified by his work. All rock that is brought to the surface by the trenching operation is to be removed from the site by the irrigation contractor. Irrigation in undisturbed landscape areas shall be repaired and restored to working condition.

## NOTE: INSTALLATION AROUND EXISTING TREES

Trenches in and around existing trees must be hand dug. Extreme care must be used to prevent damage to the root system of existing trees. Roots larger than 1 1/2" diameter shall NOT be cut. Soil beneath roots must be excavated so that the sprinkler lines can be carefully placed through and beneath the existing roots, at the proper depth, as called for in the specifications. Back filling in these areas shall be done by washing the soil back into the trenches to prevent the forming of any air pockets around the existing root system.

## SYSTEM DESCRIPTION:

This is an automatic irrigation system. One system at ground level consisting of 6 sections [valves]. One system on 7th floor amenity deck consisting of 3 sections [valves] Water supply is 2" City water meter at ground level and a 1" connection point in the pool supply line. Backflow protection shall be provided as per code.

## SYSTEM PIPE:

All pipe shall be Class 200 PVC or heavier. System Main shall be Sch.40 PVC pipe. All fittings shall be solvent weld Sch.40 fittings unless otherwise indicated in these specifications. Do not use SxMIP adapters except for shrub risers. System Main shall be Bell and O-ring Class 200 PVC pipe. Harco cast iron fittings shall be used on all bell and o-ring Class 200 PVC main line pipe. Main shall be pressure tested with all valves in place and prior to backfilling. Test shall be 100 PSI for one hour. Loss of 10 PSI within the hour shall constitute failure. Solvent weld fittings and pipe ends shall be cleaned with an all purpose PVC pipe cleaner prior to applying glue. Main shall have a minimum 24" of cover. All other pipe, laterals, etc. shall have a minimum 12" of cover. Backfill shall be free of debris and sharp objects. No rock larger than 3/4" shall be in contact with PVC pipe anywhere. All pipe above ground, with the exception of shrub risers, shall be galvanized, copper, bronze or ductile iron, and shall be painted with a flat black epoxy water proof paint. Shrub risers shall be Sch.40 or Sch.80 PVC and shall be painted with flat black epoxy paint. Use purple pipe, and/or other appropriate markings, on systems anticipating using reclaimed water. Submit for approval. (This option requires approval of the Owner, prior to installation.)

## 1. Assembly for Solvent Weld PVC pipe.

- Cut square with PVC cutter, and debur the cut prior to assembly.
- Clean PVC pipe with PVC cleaner prior to assembly.
- Use gray, heavy bodied, slow drying, high strength glue.
- Keep out of service for the length of time as specified by the Manufacturer of the PVC glue.

## SLEEVES:

All pipe under paving (walks, planter walls and drives etc.) shall be sleeved with Sch.40 PVC pipe. Sleeves shall extend beyond the edge of pavement and shall be marked. The water line shall be installed in sleeve prior to installation of the sleeve. Cap ends of water line during construction to prevent debris from entering. Sleeves under roads shall have a minimum cover of 18 inches.

## CONTROLLERS:

Two Rainbird ESP-Modular controllers to operate 6 sections on Ground Level and 3 sections at the Amenity Deck level. Controllers shall be located in the mechanical equipment rooms. Grounding shall be equal to - or better than the manufacturer's recommendation. It shall also comply with the National Electrical Code. Both of these requirements preclude using the building or electrical supply line for grounding purposes. UL approved Ground Rod shall be utilized unless otherwise specified, or if the minimum resistance reading cannot be made. If minimum grounding cannot be made, utilize grounding plates until specified resistance is met.

## RAIN SHUT OFF DEVICE:

Install a rain shut off device out of the range of the sprinklers as per State DER requirements. Submit manufacturers equipment sheet prior to installation of any such device.

## ELECTRIC CONTROL VALVES:

Rainbird PGA 24V electric control valves. All valves shall be housed in 16"x 12" rectangular Carson 1419B valve boxes or larger, and installed as per details. Control Valve shall be rated at 150 PSI or higher. Use bottom inlet whenever possible.

## CONTROL WIRE:

Control wire shall be UL approved, solid core, PE or PVC covered irrigation control wire. SIZE: Use a minimum of, 14 gage control and 12 gage bond wire. All splices and connections shall be made at pull boxes or valve boxes. [No field splices] Communication wire shall be as recommended by manufacturer. All splices shall be made with 3m brand DBY-6 Direct Burial Splice Kit. All wire to be encased in UL approved PVC conduit. All wire to be brought back to controller. Wire pull boxes shall be 10" round Ametek or other approved boxes. Wire which is not rated for direct burial shall be installed in water tight conduit with water tight junction boxes. Communication wire for 2 wire controllers shall be connected utilizing the 600V wire nuts as recommended by manufacturer.

## WATER SOURCE:

2" City Meter at ground floor level.

1" connection point at Pool Equipment level - from Pool fioll water supply line.

## SPRINKLERS:

All sprinklers shall be the type referred to in the Sprinkler Key and shall be attached to the lateral with either flexible line (swing pipe) or a PVC swing joint such as those manufactured by Lasco, Rainbird or Dura Industries, specifically for irrigation use, being constructed with components utilizing Acme threads and o-ring seals. Pressure rating shall be 200 PSI, or greater, as stated by the manufacturer. Sprinklers using more than 4 GPM shall be connected utilizing PVC swing joints. Sprinklers shall be set flush with final grade and absolutely vertical. Use Stainless Steel risers on all rotor heads.

1. Spray heads shall be Rainbird 1806, 6" pop up heads with series 10 nozzles, unless ....otherwise specified in these drawings.

2. Spray heads in shrub areas shall be shrub adapters on Sch.40 risers. Height to be established by landscape architect. Risers shall NOT be used next to paved areas and pedestrian walks where they are exposed to damage. In these areas use 12" pop-ups. Paint shub risers with water proof black paint.

## MAINTENANCE:

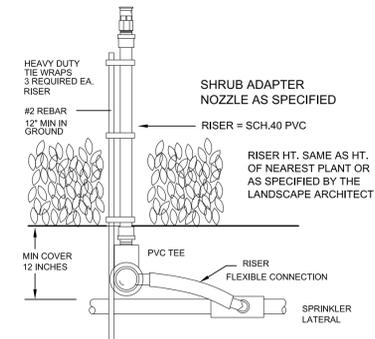
It is the contractors responsibility to maintain the system, repairing leaks, repairing broken heads, adjusting sprinkler heads, flushing system, etc. until final acceptance by the Owner. Contractor shall instruct Owners maintenance personnel as to maintenance requirements for this irrigation system.

## AS-BUILT DRAWINGS:

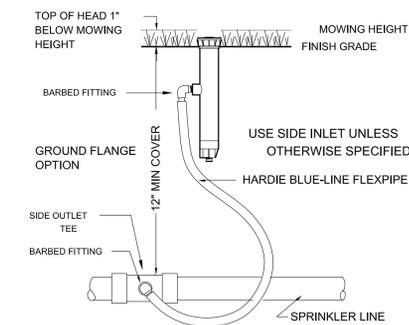
Contractor shall provide "as-built" drawings showing all changes. All valves and changes of direction on the main line shall have GPS coordinates noted on the as-built drawings. Controller program shall be part of this submission.

## GUARANTEE:

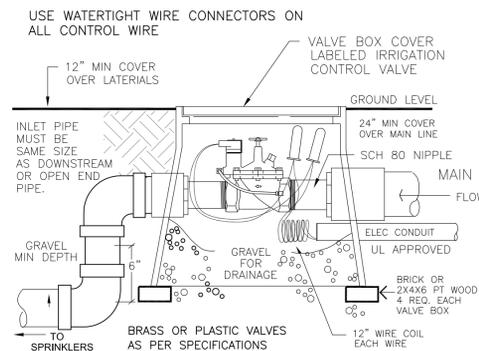
The entire system shall be guaranteed for a period of one year from the time of final acceptance. All manufacturers written warrantes and guarantees, as well as "as-built" drawings, maintenance and operational information, shall be turned over to the Owner prior to, and is a condition of final acceptance. Guarantee period shall not commence until all of the documents have been turned over to the Owners representative.



SHRUB SPRAY ON RISER



RAINBIRD 1806 POP-UP SPRAY

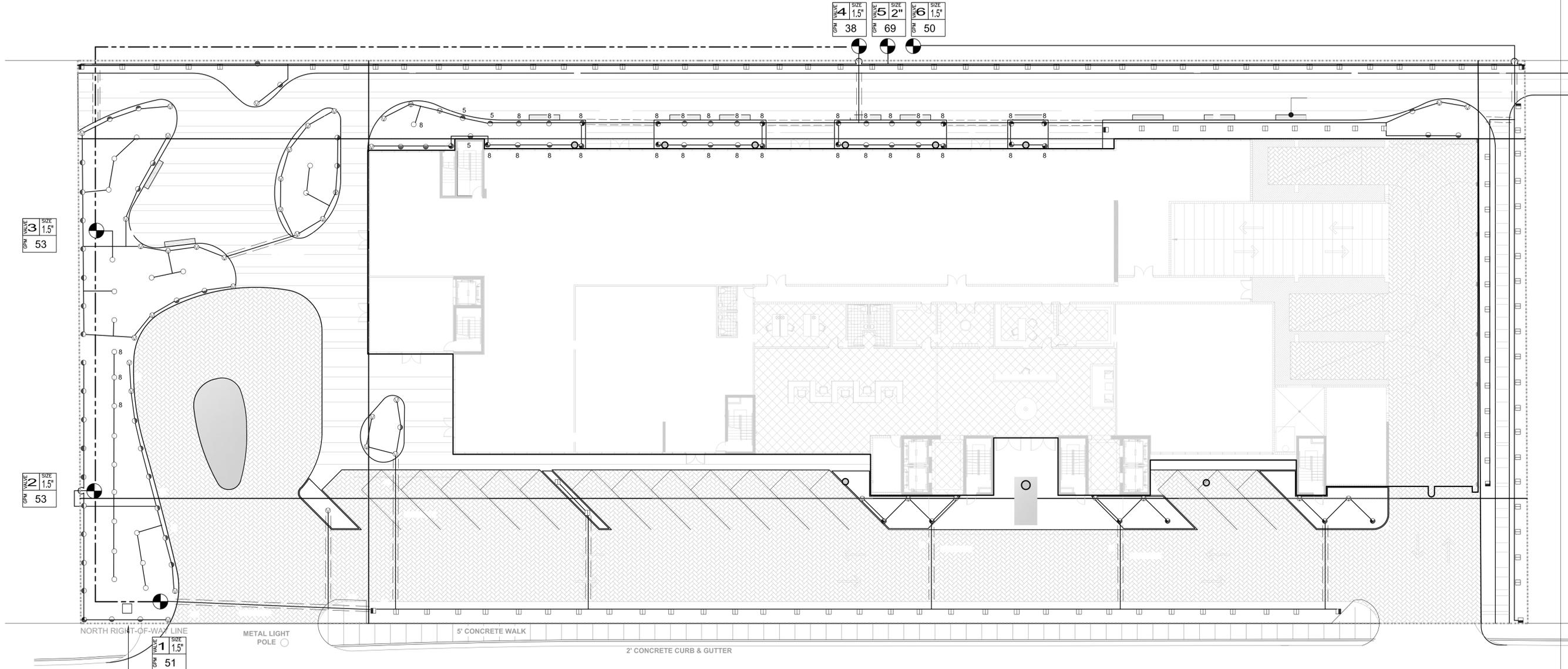


ELECTRIC REMOTE CONTROL VALVE WITH VALVE BOX

SEAL  
NOT FOR CONSTRUCTION

IRRIGATION SPECIFICATIONS AND DETAILS	
DATE	ISSUE
04/07/2014	ENTITLEMENTS

BISCAYNE BAY



OPN VALVE 3 SIZE 1.5" 53

OPN VALVE 2 SIZE 1.5" 53

OPN VALVE 1 SIZE 1.5" 51

NORTH RIGHT-OF-WAY LINE

METAL LIGHT POLE

5' CONCRETE WALK

2' CONCRETE CURB & GUTTER

2" CITY WATER METER  
 2" BACK FLOW PREVENTOR [PVB] & 2" MASTER VALVE

N.W. 79th STREET N BAY CAUSEWAY  
 (JOHN F. KENNEDY CAUSEWAY)

**NOTE:**  
 IRRIGATION PLANS ARE SCHEMATIC IN NATURE  
 ALL VALVES AND PIPES SHALL BE LOCATED IN  
 LANDSCAPE AREAS EXCEPT AT ROAD/PAVING  
 CROSSINGS.

All construction minimums shall be in conformance to Plumbing section of the South Florida Building Code, Appendix "F". They shall also be equal to, or greater, than the "Standards" as set forth by the F.I.S. FLORIDA IRRIGATION SOCIETY,

Nothing herein or contained in the specifications is intended to be in conflict with any code compliance. Contractor shall comply with all code requirements.

**IRRIGATION KEY**

- ○ RAINBIRD 1806 6" Pop-Up Spray Heads Series 10
- ○ Numbers indicate nozzle to be used, 8 - series 8 nozzle etc.
- VARIABLE ARC NOZZLE
- CST Center Strip
- EST End Strip
- ▲ Flood Bubbler
- 24V ELECTRIC CONTROL VALVE Size as shown
- ⋈ GATE VALVES: Shall be same size as water line they are controlling.
- SLEEVES: Sleeves shall be a minimum 2 sizes larger than the water line that they are protecting.
- UNDER-DECK WATER LINES: Shall be hung from the ceiling of the next lower level, and shall penetrate vertically into the landscape planter. Water proofing shall be specified by Mechanical. Metal hangers shall not be in direct contact with PVC water lines.

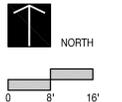
**GROUND LEVEL IRRIGATION PLAN**  
 SCALE: 1"= 16'-0"

SEAL  
 NOT FOR CONSTRUCTION

GROUND LEVEL IRRIGATION PLAN

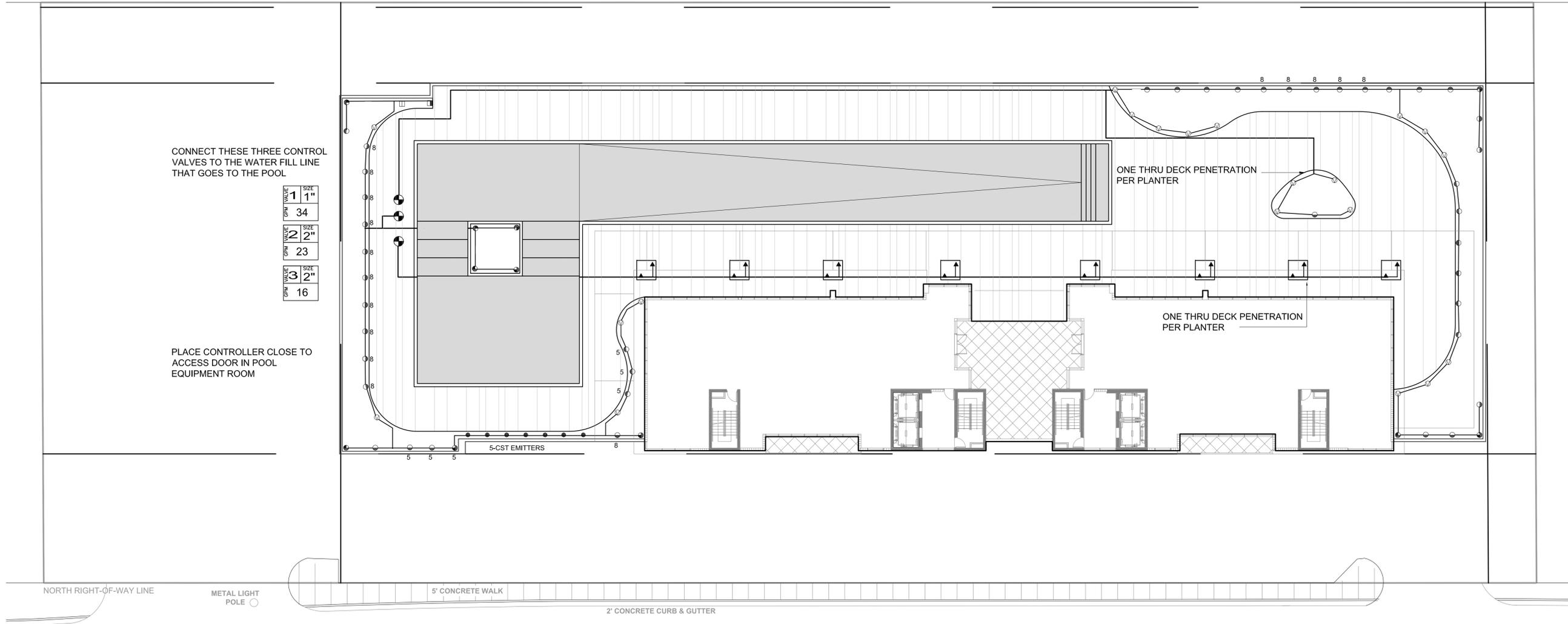
DATE	ISSUE
04/07/2014	ENTITLEMENTS

**North Bay Village II**  
 1555 KENNEDY CAUSEWAY | NORTH BAY VILLAGE, FL 33141



**L801**

BISCAYNE BAY



CONNECT THESE THREE CONTROL VALVES TO THE WATER FILL LINE THAT GOES TO THE POOL

1	SIZE 1"
34	SIZE 2"
23	SIZE 2"
16	SIZE 2"

PLACE CONTROLLER CLOSE TO ACCESS DOOR IN POOL EQUIPMENT ROOM

ONE THRU DECK PENETRATION PER PLANTER

ONE THRU DECK PENETRATION PER PLANTER

5-CST EMITTERS

NORTH RIGHT-OF-WAY LINE

METAL LIGHT POLE

5' CONCRETE WALK

2' CONCRETE CURB & GUTTER

ASPHALT PAVEMENT

N.W. 79th STREET N BAY CAUSEWAY  
(JOHN F. KENNEDY CAUSEWAY)

North Bay Village II  
1555 KENNEDY CAUSEWAY | NORTH BAY VILLAGE, FL 33141

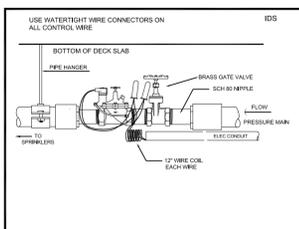
SEAL  
NOT FOR CONSTRUCTION

IRRIGATION KEY

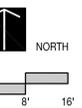
- ○ ○ RAINBIRD 1806 6" Pop-Up Spray Heads Series 10
- 5 15 8 Numbers indicate nozzle to be used, 8 - series 8 nozzle etc, VARIABLE ARC NOZZLE
- ⊙ VARIABLE ARC NOZZLE
- CST Center Strip
- EST End Strip
- ▲ Flood Bubbler
- ⊗ 24V ELECTRIC CONTROL VALVE Size as shown
- ⊗ GATE VALVES: Shall be same size as water line they are controlling.

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7th LEVEL  
IRRIGATION PLAN  
DATE ISSUE  
04/07/2014 ENTITLEMENTS



AMENITY DECK - 7TH FLOOR IRRIGATION PLAN  
SCALE 1"= 16'-0"

L802

**PERMIT SET**

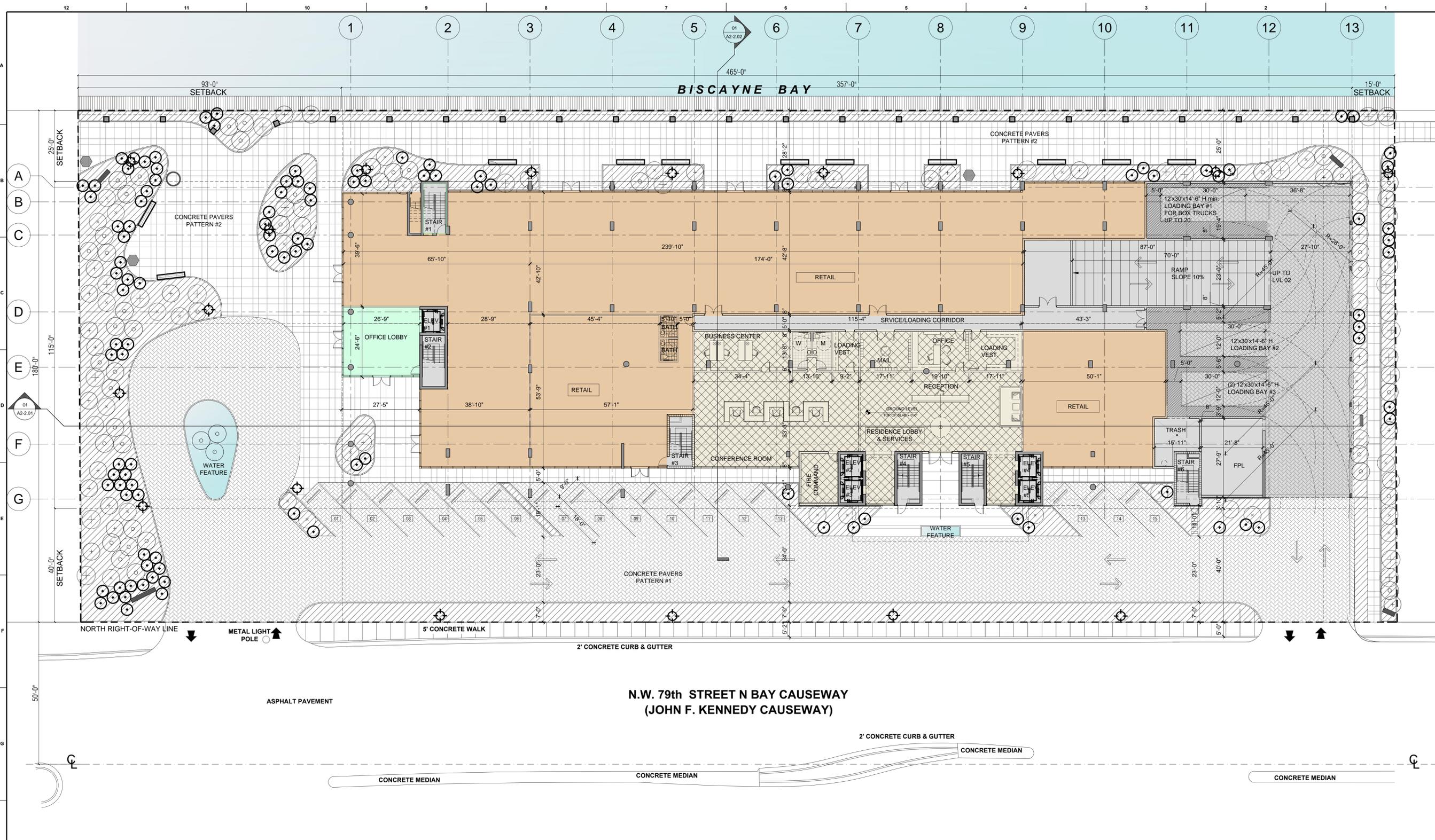
PERMIT APPLICATION DATE:  
 ISSUE DATE: 04-09-2014  
 PROJECT No.: 1330  
 DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
 HEREIN CONSTITUTE ORIGINAL WORK OF  
 THE ARCHITECT AND MAY ONLY BE  
 DUPLICATED WITH THEIR WRITTEN  
 CONSENT.

SEAL:  
  
 SIGNATURE:  
 ARTURO G. GRIEGO  
 LIC# AR94011

SHEET TITLE:  
**GROUND LEVEL FLOOR PLAN**  
 SCALE:  
 1/16" = 1'-0"  
 SHEET No.:

**A1-1.01**  
 itec design inc. 2014



**SOLAR REFLECTANCE INDEX LEGEND (NON-ROOF REQUIREMENTS):**

SYMBOL	KEY	AREA	AREA SQUARE FOOTAGE	SOLAR REFLECTION INDEX (%)	MATERIAL SOLAR REFLECTANCE
(A)		CONCRETE		22.6	.35
(B)		LANDSCAPE AREA		41	PERVIOUS
(C)		FINISHED WALKWAY AREA		24	.35
SOLAR REFLECTANCE COMPLIANCE				87.6	

**TERMITE PROTECTION:**  
 THE BUILDING HAS TO RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY.

**PARKING GARAGE VENTILATIONS**  
 THIS PARKING GARAGE COMPLY WITH OPEN PARKING GARAGE DEFINITION F.B.C. 406.3.3.1

**GROUND LEVEL FLOOR PLAN (LEVEL 0'-0")**  
 PERIMETER WALL =  
 WALL HEIGHT =  
 WALL AREA =  
 20% WALL AREA =  
 OPENING AREA PROVIDED =

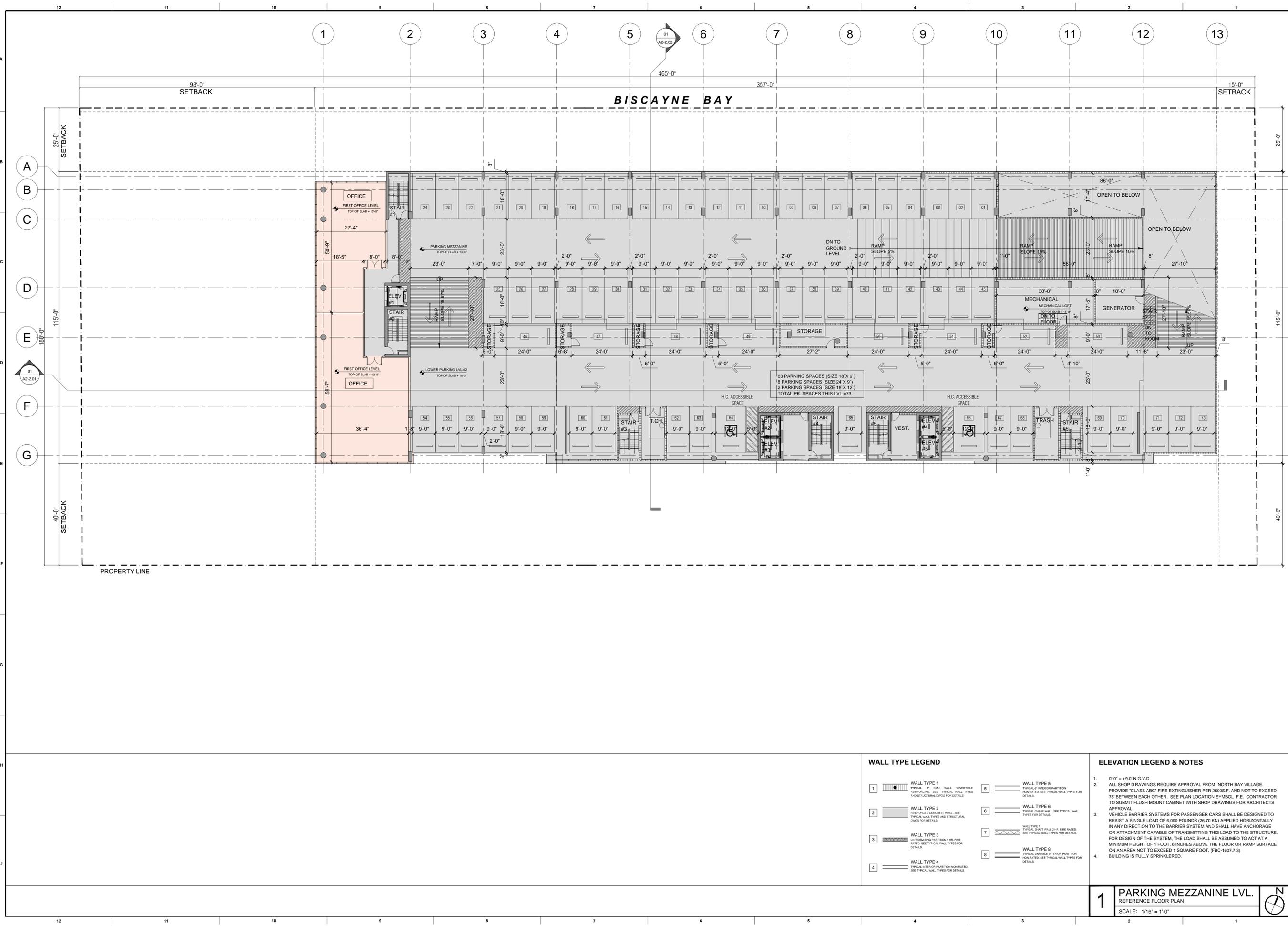
**WALL TYPE LEGEND**

1	WALL TYPE 1 TYPICAL 8" CMU WALL INVERTIBLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	5	WALL TYPE 5 TYPICAL 0" INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	6	WALL TYPE 6 TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
3	WALL TYPE 3 UNIT DEMISING PARTITION 1 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	7	WALL TYPE 7 TYPICAL 3/4" WALL 2 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
4	WALL TYPE 4 TYPICAL VARIABLE INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	8	WALL TYPE 8 TYPICAL VARIABLE INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.

**ELEVATION LEGEND & NOTES**

- 0'-0" = +9.0' N.G.V.D.
- ALL SHOP DRAWINGS REQUIRE APPROVAL FROM NORTH BAY VILLAGE.
- PROVIDE "CLASS ABC" FIRE EXTINGUISHER PER 2500S.F. AND NOT TO EXCEED 75' BETWEEN EACH OTHER. SEE PLAN LOCATION SYMBOL. F.E. CONTRACTOR TO SUBMIT FLUSH MOUNT CABINET WITH SHOP DRAWINGS FOR ARCHITECTS APPROVAL.
- VEHICLE BARRIER SYSTEMS FOR PASSENGER CARS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 6,000 POUNDS (26.70 KN) APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIER SYSTEM AND SHALL HAVE ANCHORAGE OR ATTACHMENT CAPABLE OF TRANSMITTING THIS LOAD TO THE STRUCTURE. FOR DESIGN OF THE SYSTEM, THE LOAD SHALL BE ASSUMED TO ACT AT A MINIMUM HEIGHT OF 1 FOOT, 6 INCHES ABOVE THE FLOOR OR RAMP SURFACE ON AN AREA NOT TO EXCEED 1 SQUARE FOOT. (FBC-1607.7.3)
- BUILDING IS FULLY SPRINKLERED.

**GROUND LEVEL FLOOR PL.**  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"



PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
 RESIDENTIAL DEVELOPMENT  
 1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133

**B Developments**  
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 (305) 671-6666

**Fernández Prieto & Asoc.**  
 Desarrollos Inmobiliarios

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CIVIL ENGINEERS:  
**VSN Engineering**  
 leo@vsneing.com  
 8550 W Flagler St Miami, FL 33144  
 (305) 551-6207

LANDSCAPE:  
**Matthew Lewis Studio**  
 mcl@matthewlewisstudio.com  
 400 NW 29th St  
 Miami, FL 33127  
 305.417.9968

KEY PLAN:

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 04-09-2014  
 PROJECT No.: 1330  
 DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
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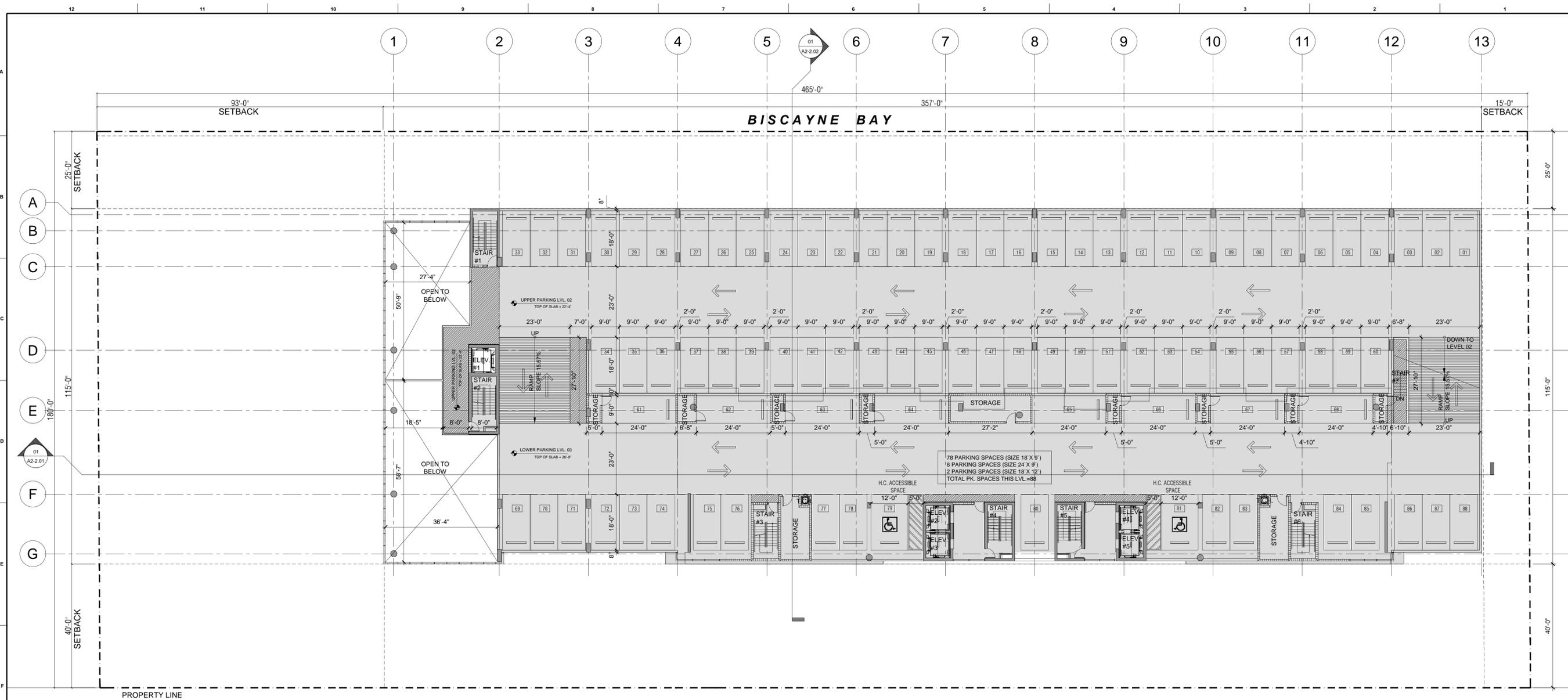
SHEET TITLE:  
**PARKING MEZZ. LVL.  
 AND 1ST OFFICE LVL.**  
 SCALE:  
**1/16"=1'0"**  
 SHEET No.:

WALL TYPE LEGEND	
1	WALL TYPE 1 TYPICAL 8" CMU WALL INVERTIBLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.
3	WALL TYPE 3 UNIT DIVIDING PARTITION 1/2" HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
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5	WALL TYPE 5 TYPICAL 1/2" INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
6	WALL TYPE 6 TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
7	WALL TYPE 7 TYPICAL SHAF WALL 2 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
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  - VEHICLE BARRIER SYSTEMS FOR PASSENGER CARS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 6,000 POUNDS (26.70 KN) APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIER SYSTEM AND SHALL HAVE ANCHORAGE OR ATTACHMENT CAPABLE OF TRANSMITTING THIS LOAD TO THE STRUCTURE. FOR DESIGN OF THE SYSTEM, THE LOAD SHALL BE ASSUMED TO ACT AT A MINIMUM HEIGHT OF 1 FOOT, 6 INCHES ABOVE THE FLOOR OR RAMP SURFACE ON AN AREA NOT TO EXCEED 1 SQUARE FOOT. (FBC-1607.7.3)
  - BUILDING IS FULLY SPRINKLERED.

**1** **PARKING MEZZANINE LVL.**  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"

**A1-1.02**  
 itec design inc. 2014



PROJECT AND OWNER:  
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KEY PLAN:

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SEAL:  
  
 SIGNATURE:  
 ARTURO G. GRIEGO  
 LIC# AR90411

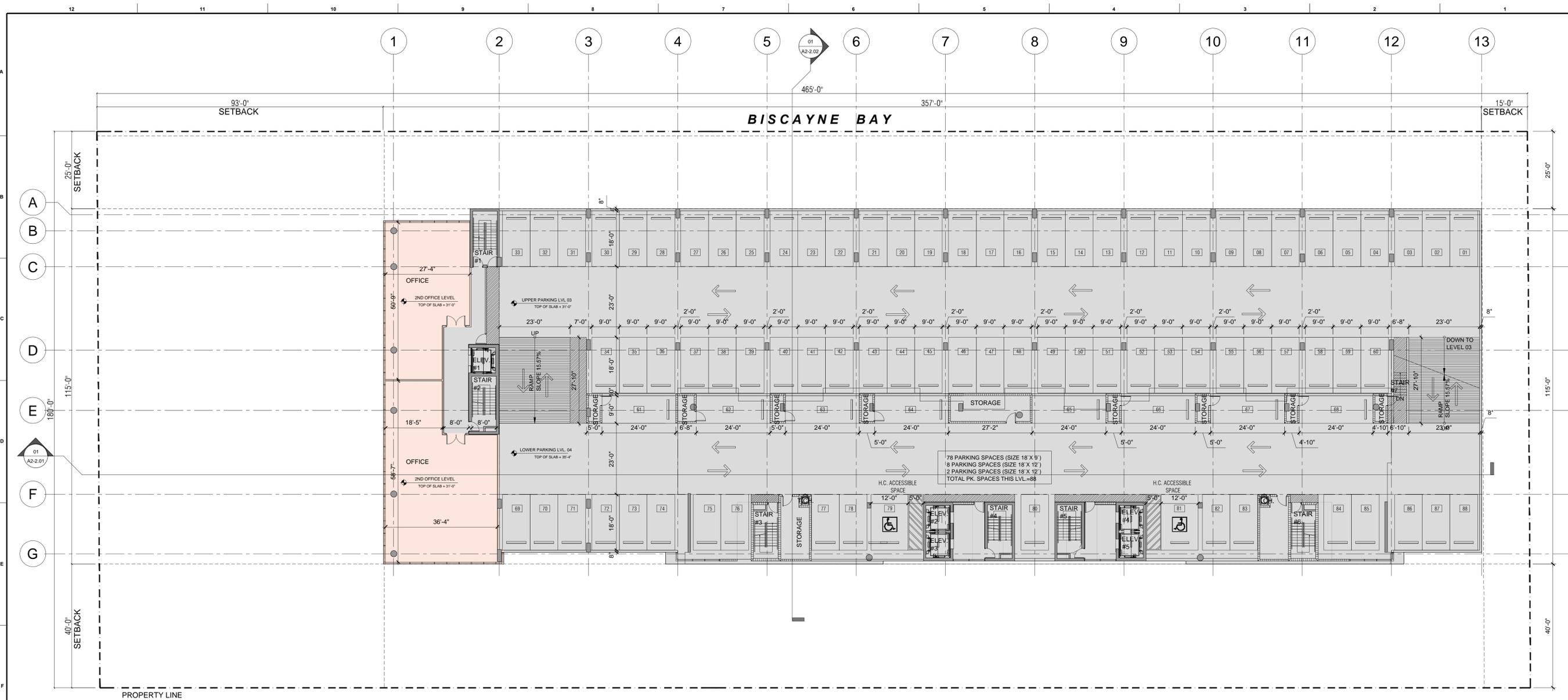
SHEET TITLE:  
**LEVEL 02 FL. PLAN**  
 SCALE:  
**1/16"=1'0"**  
 SHEET No.:

WALL TYPE LEGEND	
1	WALL TYPE 1 TYPICAL 2" CMU WALL INVERTIBLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.
3	WALL TYPE 3 UNIT DIVIDING PARTITION 1 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
4	WALL TYPE 4 TYPICAL INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
5	WALL TYPE 5 TYPICAL 4" INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
6	WALL TYPE 6 TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
7	WALL TYPE 7 TYPICAL SHAF WALL 2 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
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  - BUILDING IS FULLY SPRINKLERED.

**1 LEVEL 02 FLOOR PLAN**  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"

**A1-1.03**  
 itec design inc. 2014



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 e. miami@itecdesign.net | w. www.itecdesign.net  
 #AA0003334

CIVIL ENGINEERS:  
**VSN Engineering**  
 leo@vsneing.com  
 8550 W Flagler St Miami, FL 33144  
 (305) 551-6207

LANDSCAPE:  
**Matthew Lewis Studio**  
 mcl@matthewlewisstudio.com  
 400 NW 29th St  
 Miami, FL 33127  
 305.417.9968

KEY PLAN:

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 04-09-2014  
 PROJECT No.: 1330  
 DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
 HEREIN CONSTITUTE ORIGINAL WORK OF  
 THE ARCHITECT AND MAY ONLY BE  
 DUPLICATED WITH THEIR WRITTEN  
 CONSENT.

SEAL:  
  
 SIGNATURE:  
 ARTURO G. GRIEGO  
 LIC# AR94011

SHEET TITLE:  
**LEVEL 03 - 2ND OFFICE  
 AND PARKING FL. PL.**  
 SCALE:  
 1/16"=1'0"  
 SHEET No.:

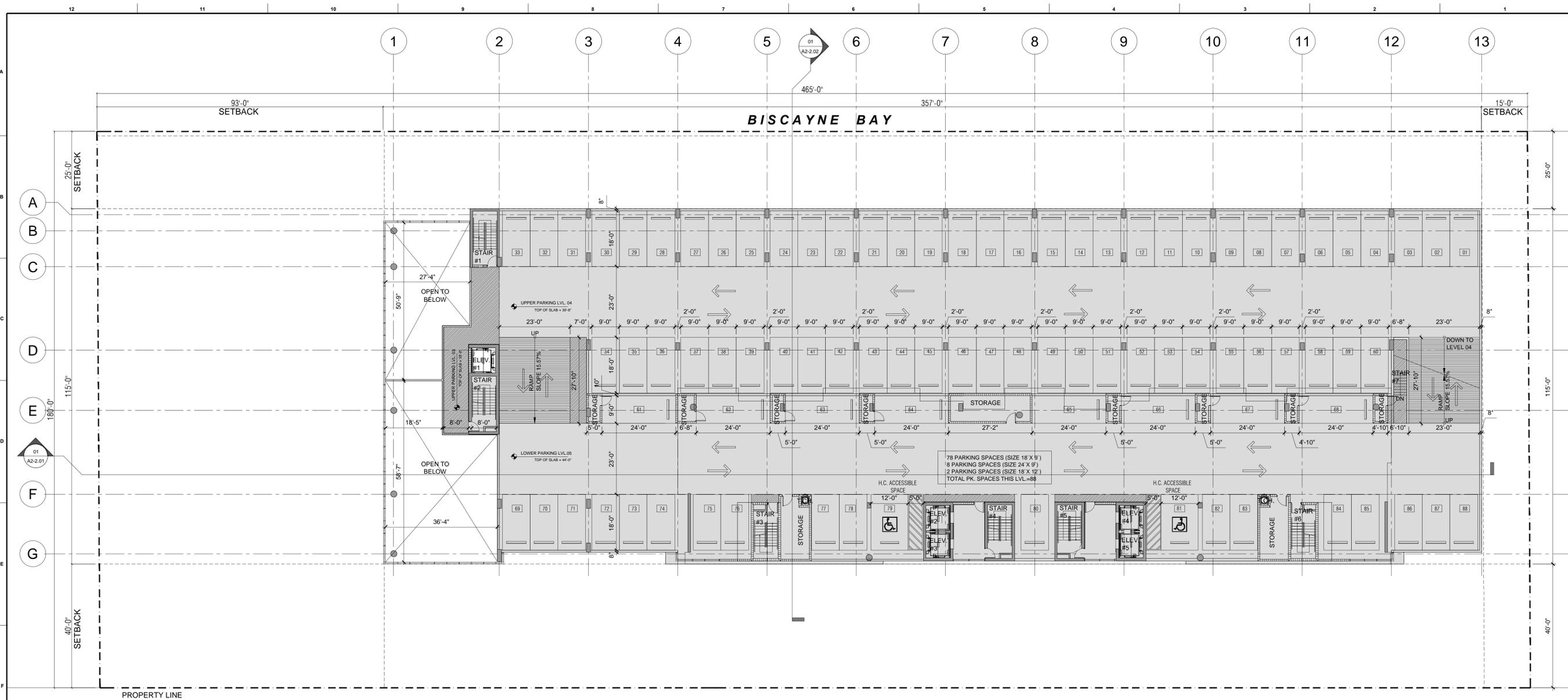
**WALL TYPE LEGEND**

1	WALL TYPE 1 TYPICAL 2" CMU WALL INVERTIBLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	5	WALL TYPE 5 TYPICAL 1/2" INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	6	WALL TYPE 6 TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
3	WALL TYPE 3 UNIT DIVIDING PARTITION 1 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	7	WALL TYPE 7 TYPICAL SHAF WALL 2 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
4	WALL TYPE 4 TYPICAL INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	8	WALL TYPE 8 TYPICAL VARIABLE INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.

- ELEVATION LEGEND & NOTES**
- 0'-0" = +9.0' N.G.V.D.
  - ALL SHOP DRAWINGS REQUIRE APPROVAL FROM NORTH BAY VILLAGE. PROVIDE "CLASS ABC" FIRE EXTINGUISHER PER 2505.7, AND NOT TO EXCEED 75 BETWEEN EACH OTHER. SEE PLAN LOCATION SYMBOL. F.E. CONTRACTOR TO SUBMIT FLUSH MOUNT CABINET WITH SHOP DRAWINGS FOR ARCHITECTS APPROVAL.
  - VEHICLE BARRIER SYSTEMS FOR PASSENGER CARS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 6,000 POUNDS (26.70 KN) APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIER SYSTEM AND SHALL HAVE ANCHORAGE OR ATTACHMENT CAPABLE OF TRANSMITTING THIS LOAD TO THE STRUCTURE. FOR DESIGN OF THE SYSTEM, THE LOAD SHALL BE ASSUMED TO ACT AT A MINIMUM HEIGHT OF 1 FOOT, 6 INCHES ABOVE THE FLOOR OR RAMP SURFACE ON AN AREA NOT TO EXCEED 1 SQUARE FOOT. (FBC-1607.7.3)
  - BUILDING IS FULLY SPRINKLERED.

**1 LEVEL 03 FLOOR PLAN**  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"

**A1-1.04**  
 itec design inc. 2014



PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
 RESIDENTIAL DEVELOPMENT  
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KEY PLAN:

**PERMIT SET**

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 CONSENT.

SEAL:

SIGNATURE:  
 ARTURO G. GRIEGO  
 LIC# AR94011

SHEET TITLE:  
**LEVEL 04 -  
 PARKING LVL. FL. PL.**

SCALE:  
**1/16"=1'0"**

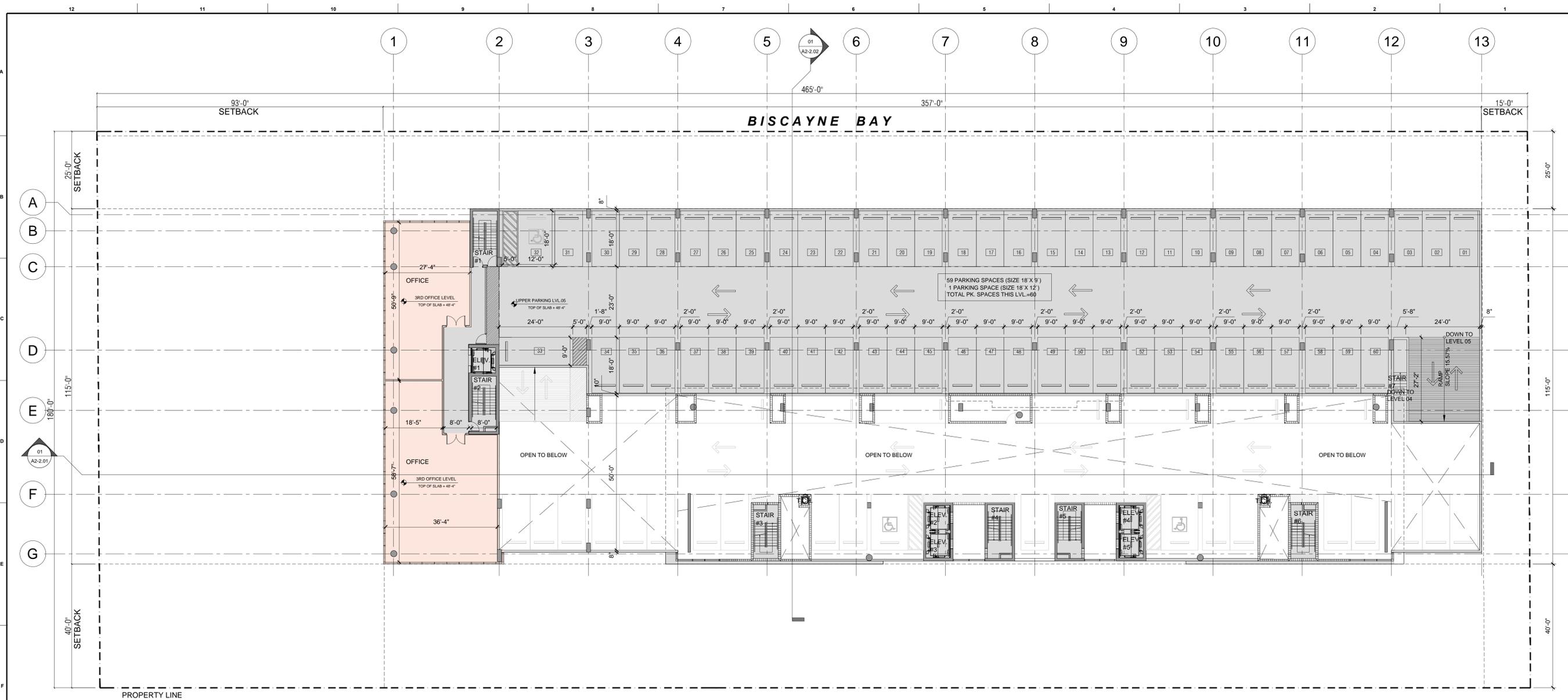
SHEET No.:

WALL TYPE LEGEND	
1	WALL TYPE 1 TYPICAL 8" CMU WALL INVERTIBLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.
3	WALL TYPE 3 UNIT DIVIDING PARTITION 1 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
4	WALL TYPE 4 TYPICAL INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
5	WALL TYPE 5 TYPICAL 1/2" INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
6	WALL TYPE 6 TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
7	WALL TYPE 7 TYPICAL SHAF WALL 2 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
8	WALL TYPE 8 TYPICAL VARIABLE INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.

- ELEVATION LEGEND & NOTES**
- 0'-0" = +9.0' N.G.V.D.
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  - VEHICLE BARRIER SYSTEMS FOR PASSENGER CARS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 6,000 POUNDS (26.70 KN) APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIER SYSTEM AND SHALL HAVE ANCHORAGE OR ATTACHMENT CAPABLE OF TRANSMITTING THIS LOAD TO THE STRUCTURE. FOR DESIGN OF THE SYSTEM, THE LOAD SHALL BE ASSUMED TO ACT AT A MINIMUM HEIGHT OF 1 FOOT, 6 INCHES ABOVE THE FLOOR OR RAMP SURFACE ON AN AREA NOT TO EXCEED 1 SQUARE FOOT. (FBC-1607.7.3)
  - BUILDING IS FULLY SPRINKLERED.

**1 LEVEL 04 FLOOR PLAN**  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"

**A1-1.05**  
 itec design inc. 2014



PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
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KEY PLAN:

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 04-09-2014  
 PROJECT No.: 1330  
 DRAWN BY: AG APPROVED BY: AG

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 CONSENT.

SEAL:  
  
 SIGNATURE:  
 ARTURO G. GRIEGO  
 LIC# AR90411

SHEET TITLE:  
**LEVEL 05 - 3RD OFFICE  
 AND PARKING FL. PL.**  
 SCALE:  
 1/16"=1'0"  
 SHEET No.:

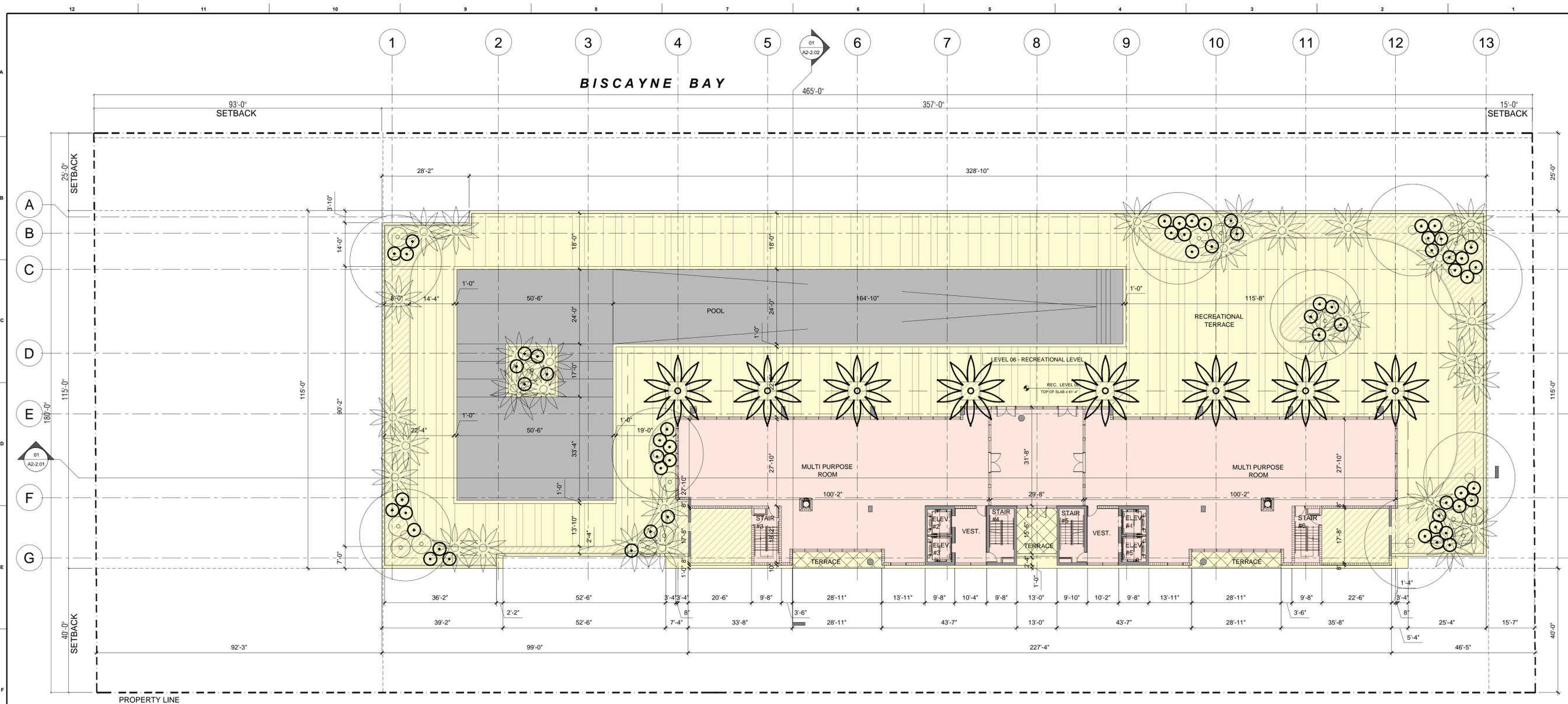
**WALL TYPE LEGEND**

1	WALL TYPE 1 TYPICAL 2" CMU WALL INVERTICLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	5	WALL TYPE 5 TYPICAL 1/2" INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	6	WALL TYPE 6 TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
3	WALL TYPE 3 UNIT DIVIDING PARTITION 1 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	7	WALL TYPE 7 TYPICAL SHAF WALL (1 HR. FIRE RATED). SEE TYPICAL WALL TYPES FOR DETAILS.
4	WALL TYPE 4 TYPICAL INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	8	WALL TYPE 8 TYPICAL VARIABLE INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.

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  - VEHICLE BARRIER SYSTEMS FOR PASSENGER CARS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 6,000 POUNDS (26.70 KN) APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIER SYSTEM AND SHALL HAVE ANCHORAGE OR ATTACHMENT CAPABLE OF TRANSMITTING THIS LOAD TO THE STRUCTURE. FOR DESIGN OF THE SYSTEM, THE LOAD SHALL BE ASSUMED TO ACT AT A MINIMUM HEIGHT OF 1 FOOT, 6 INCHES ABOVE THE FLOOR OR RAMP SURFACE ON AN AREA NOT TO EXCEED 1 SQUARE FOOT. (FBC-1607.7.3)
  - BUILDING IS FULLY SPRINKLERED.

**1 LEVEL 05 FLOOR PLAN**  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"

**A1-1.06**  
 itec design inc. 2014



PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
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B Developments  
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 305.417.9968

KEY PLAN:

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PERMIT APPLICATION DATE:  
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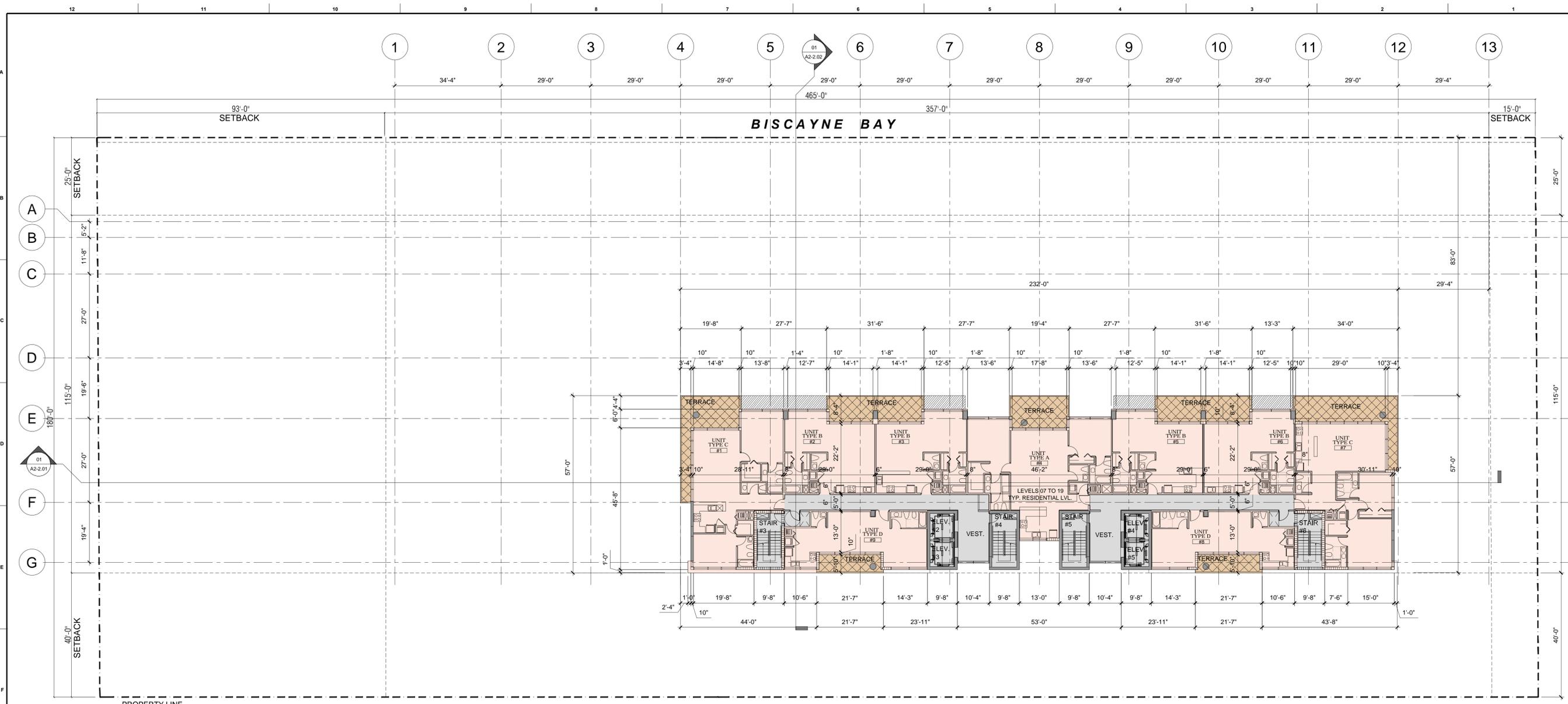
SHEET TITLE:  
**LEVEL 06 FLOOR PLAN  
 RECREATION LEVEL**  
 SCALE:  
 1/16" = 1'0"  
 SHEET No.:

WALL TYPE LEGEND	
1	WALL TYPE 1 TYPICAL 2" CMU WALL INVERTIBLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.
3	WALL TYPE 3 UNIT DIVIDING PARTITION 1 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
4	WALL TYPE 4 TYPICAL INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
5	WALL TYPE 5 TYPICAL 1/2" INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
6	WALL TYPE 6 TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
7	WALL TYPE 7 TYPICAL SHAF WALL 2 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
8	WALL TYPE 8 TYPICAL VARIABLE INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.

- ELEVATION LEGEND & NOTES**
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  - BUILDING IS FULLY SPRINKLERED.

**1 LEVEL 06 FLOOR PLAN  
 RECREATION LEVEL**  
 SCALE: 1/16" = 1'-0"

**A1-1.07**  
 itec design inc. 2014



PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
 RESIDENTIAL DEVELOPMENT  
 1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133

B Developments  
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 (305) 671-6666

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 Desarrollos Inmobiliarios

ARCHITECT:  
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 e miami@itecdesign.net | w www.itecdesign.net  
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KEY PLAN:

**PERMIT SET**

PERMIT APPLICATION DATE:  
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 CONSENT.

SEAL:  
  
 SIGNATURE:  
 ARTURO G. GRIEGO  
 LIC# AR90411

SHEET TITLE:  
**LEVELS 07 TO 19  
 FLOOR PLAN**  
 SCALE:  
 1/16"=1'0"  
 SHEET No.:

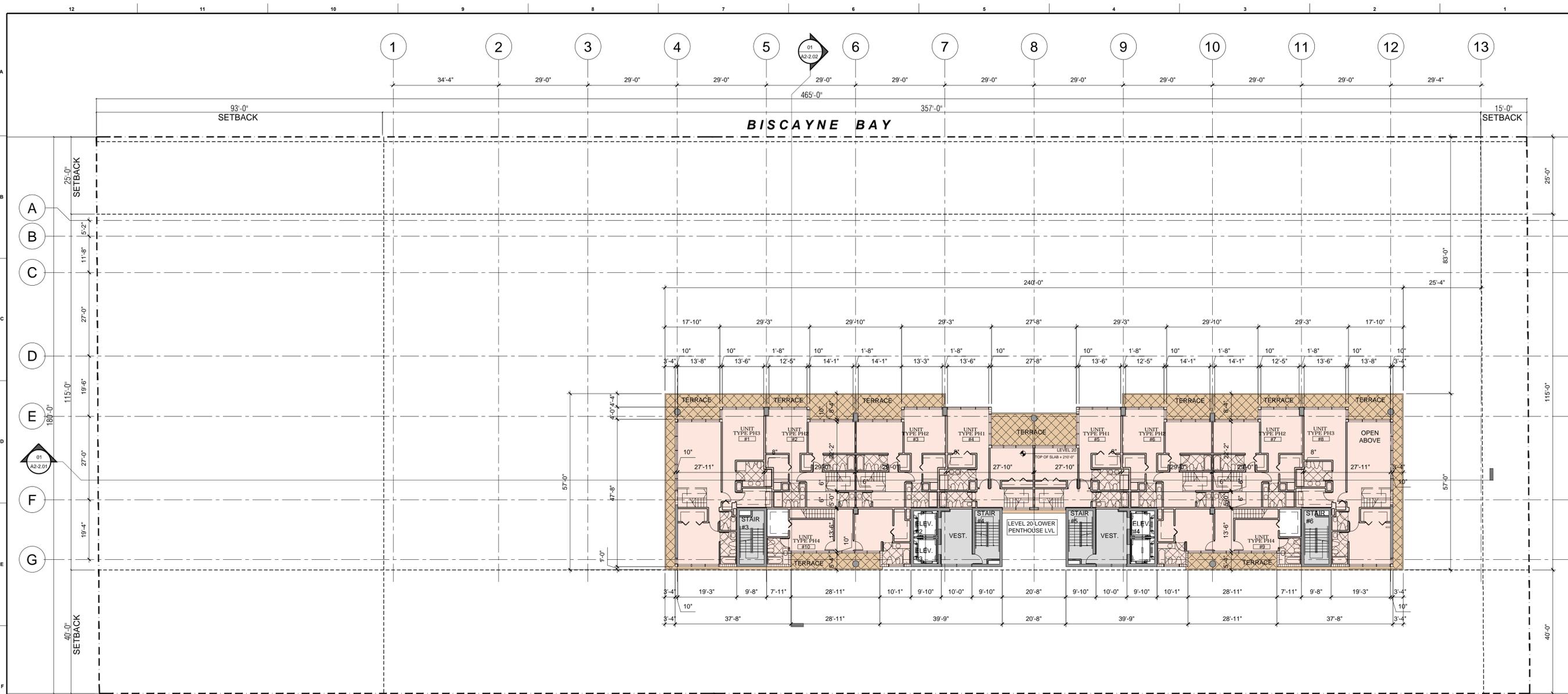
WALL TYPE LEGEND	
1	WALL TYPE 1 TYPICAL 2" CMU WALL INVERTIBLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.
3	WALL TYPE 3 UNIT DIVIDING PARTITION 1 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
4	WALL TYPE 4 TYPICAL INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
5	WALL TYPE 5 TYPICAL 1" INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
6	WALL TYPE 6 TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
7	WALL TYPE 7 TYPICAL SHAF WALL 2 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
8	WALL TYPE 8 TYPICAL VARIABLE INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.

- ELEVATION LEGEND & NOTES**
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  - BUILDING IS FULLY SPRINKLERED.

**1** LEVELS 07 TO 19 FL. PL.  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"



**A1-1.08**  
 itec design inc. 2014



PROJECT AND OWNER:  
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KEY PLAN:

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 04-09-2014  
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SEAL:

SIGNATURE:  
**ARTURO G. GRIEGO**  
 LIC# AR90411

SHEET TITLE:  
**LEVEL 20 FLOOR PLAN**  
 SCALE:  
 1/16"=1'0"

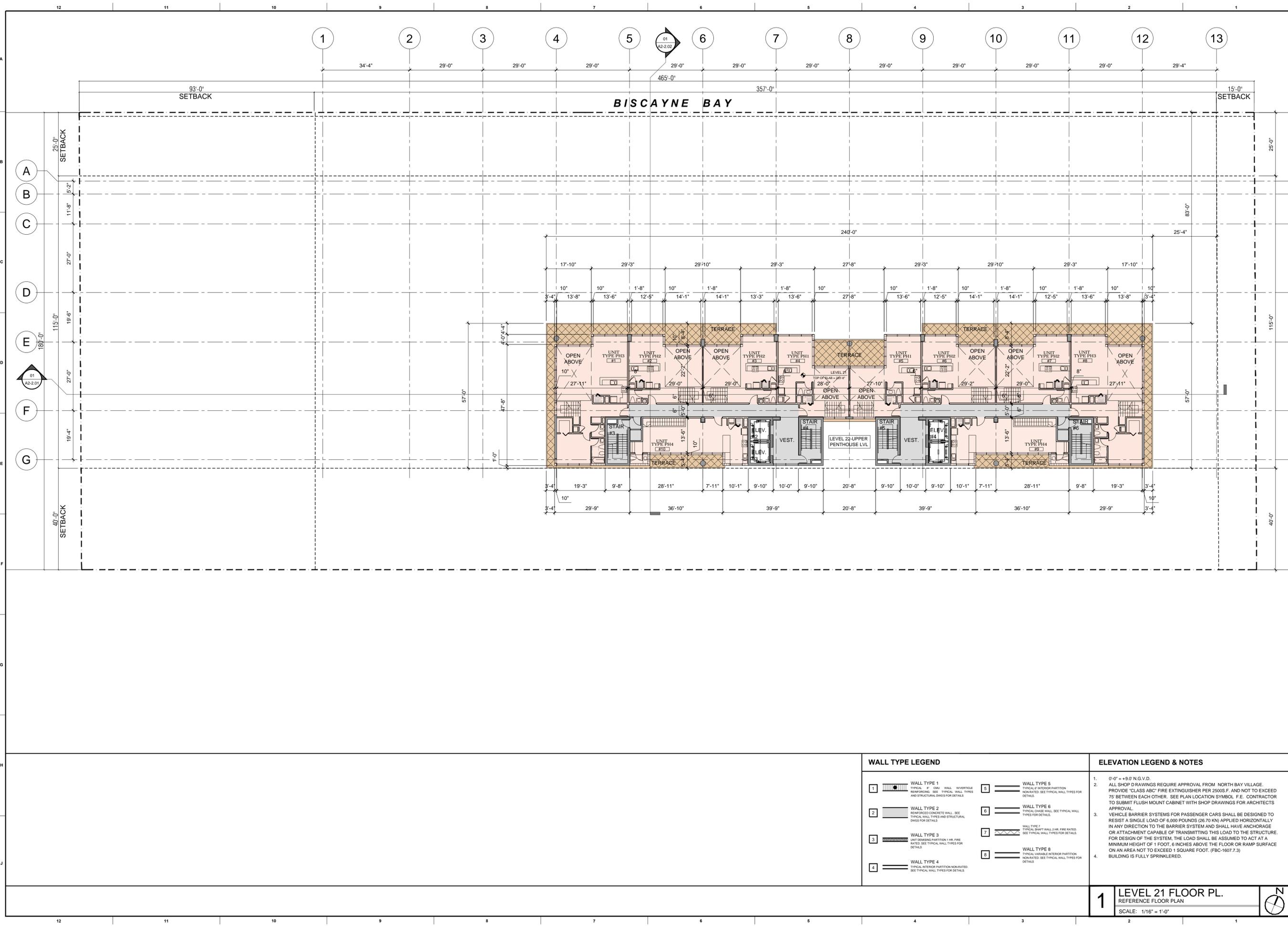
SHEET No.:  
**A1-1.09**  
 itec design inc. 2014

WALL TYPE LEGEND		ELEVATION LEGEND & NOTES	
1	WALL TYPE 1 TYPICAL 2" CMU WALL INVERTIBLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	5	WALL TYPE 5 TYPICAL 6" INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	6	WALL TYPE 6 TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
3	WALL TYPE 3 UNIT SEPARATING PARTITION 1 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	7	WALL TYPE 7 TYPICAL SHAF WALL 2 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
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- BUILDING IS FULLY SPRINKLERED.

**1 LEVEL 20 FLOOR PLAN**  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"





PROJECT AND OWNER:  
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 RESIDENTIAL DEVELOPMENT  
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KEY PLAN:

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SEAL:

SIGNATURE:  
**ARTURO G. GRIEGO**  
 LIC# AR94011

SHEET TITLE:  
**LEVEL 21 FLOOR PLAN**  
 SCALE:  
**1/16"=1'0"**  
 SHEET No.:

WALL TYPE LEGEND		ELEVATION LEGEND & NOTES	
1	WALL TYPE 1 TYPICAL 8" CMU WALL INVERTIBLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	5	WALL TYPE 5 TYPICAL 4" INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
2	WALL TYPE 2 REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	6	WALL TYPE 6 TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.
3	WALL TYPE 3 UNIT DIVIDING PARTITION 1 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	7	WALL TYPE 7 TYPICAL SHAF WALL 2 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.
4	WALL TYPE 4 TYPICAL INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	8	WALL TYPE 8 TYPICAL VARIABLE INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.

- 0'-0" = +9.0' N.G.V.D.
- ALL SHOP DRAWINGS REQUIRE APPROVAL FROM NORTH BAY VILLAGE. PROVIDE "CLASS ABC" FIRE EXTINGUISHER PER 2505.7, AND NOT TO EXCEED 75 BETWEEN EACH OTHER. SEE PLAN LOCATION SYMBOL. F.E. CONTRACTOR TO SUBMIT FLUSH MOUNT CABINET WITH SHOP DRAWINGS FOR ARCHITECTS APPROVAL.
- VEHICLE BARRIER SYSTEMS FOR PASSENGER CARS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 6,000 POUNDS (26.70 KN) APPLIED HORIZONTALLY IN ANY DIRECTION TO THE BARRIER SYSTEM AND SHALL HAVE ANCHORAGE OR ATTACHMENT CAPABLE OF TRANSMITTING THIS LOAD TO THE STRUCTURE. FOR DESIGN OF THE SYSTEM, THE LOAD SHALL BE ASSUMED TO ACT AT A MINIMUM HEIGHT OF 1 FOOT, 6 INCHES ABOVE THE FLOOR OR RAMP SURFACE ON AN AREA NOT TO EXCEED 1 SQUARE FOOT. (FBC-1607.7.3)
- BUILDING IS FULLY SPRINKLERED.

**1** LEVEL 21 FLOOR PL.  
 REFERENCE FLOOR PLAN  
 SCALE: 1/16" = 1'-0"

**A1-1.10**  
 itec design inc. 2014

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:



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CIVIL ENGINEERS  
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LANDSCAPE:  
**Matthew Lewis Studio**  
mcl@matthewlewisstudio.com  
450 NW 29th St  
Miami, FL 33127  
305.417.9968

KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:

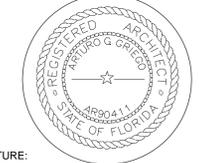
ISSUE DATE: 04-09-2014

PROJECT No.: 1330

DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
HEREIN CONSTITUTE ORIGINAL WORK OF  
THE ARCHITECT AND MAY ONLY BE  
DUPLICATED WITH THEIR WRITTEN  
CONSENT.

SEAL:



SIGNATURE:  
**ARTURO G. GRIEGO**  
LIC# AR90411

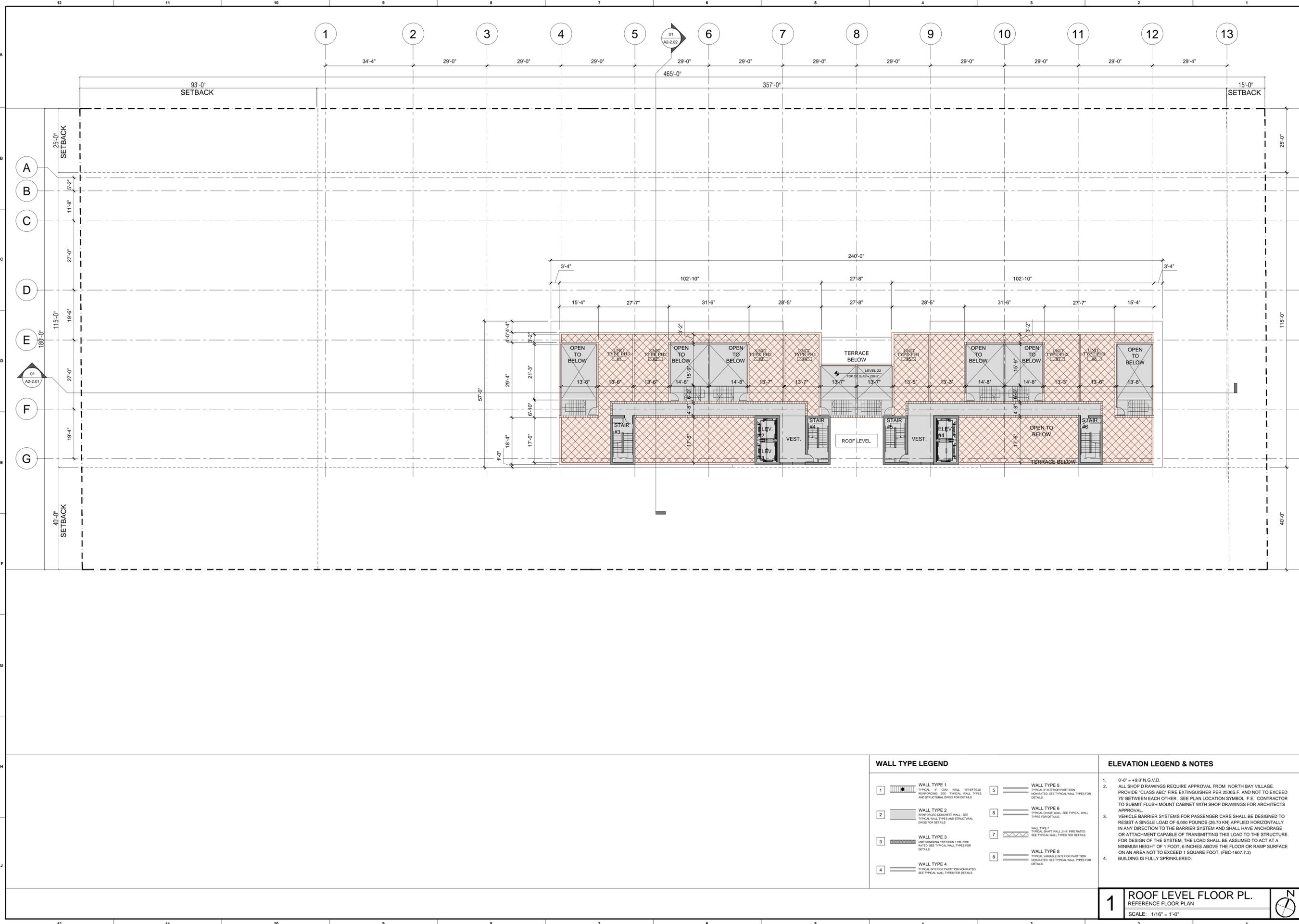
SHEET TITLE:  
**ROOF LEVEL FLOOR PLAN**

SCALE:  
1/16"=1'0"

SHEET No.:

# A1-1.11

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### WALL TYPE LEGEND

- |   |  |   |  |
|---|--|---|--|
| 1 | WALL TYPE 1<br>TYPICAL 8" CMU WALL INVERTICLE REINFORCING. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS. | 5 | WALL TYPE 5<br>TYPICAL 4" INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.       |
| 2 | WALL TYPE 2<br>REINFORCED CONCRETE WALL. SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.                   | 6 | WALL TYPE 6<br>TYPICAL CHASE WALL. SEE TYPICAL WALL TYPES FOR DETAILS.                             |
| 3 | WALL TYPE 3<br>UNIT DIVIDING PARTITION 1 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.                       | 7 | WALL TYPE 7<br>TYPICAL SWIFT WALL 2 HR. FIRE RATED. SEE TYPICAL WALL TYPES FOR DETAILS.            |
| 4 | WALL TYPE 4<br>TYPICAL INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.                          | 8 | WALL TYPE 8<br>TYPICAL VARIABLE INTERIOR PARTITION. NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS. |

### ELEVATION LEGEND & NOTES

- 0'-0" = +9.0' N.G.V.D.
- ALL SHOP DRAWINGS REQUIRE APPROVAL FROM NORTH BAY VILLAGE. PROVIDE "CLASS ABC" FIRE EXTINGUISHER PER 2500S F, AND NOT TO EXCEED 75' BETWEEN EACH OTHER. SEE PLAN LOCATION SYMBOL. F.E. CONTRACTOR TO SUBMIT FLUSH MOUNT CABINET WITH SHOP DRAWINGS FOR ARCHITECTS APPROVAL.
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- BUILDING IS FULLY SPRINKLERED.

**1** ROOF LEVEL FLOOR PL.  
REFERENCE FLOOR PLAN  
SCALE: 1/16" = 1'-0"





**MATERIALS + FINISHES LEGEND**

**EXTERIOR WALLS**

- E-1 ALUM. WHITE FRAME
- E-2 CLEAR GLASS
- E-3 SMOOTH STUCCO PAINTED BRIGHT LIGHT GRAY
- E-4 SMOOTH STUCCO PAINTED WHITE
- E-5 GLASS RAILING
- E-6 METAL SCREEN LOUVER

**PROJECT AND OWNER:**

**NORTH BAY VILLAGE II**  
RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133

**B Developments**  
1620 SW 26th Street Dr  
Miami, FL 33125  
(305) 431-6662

**Fernández Prieto & Asoc.**  
Desarrollamos Inmobiliarias

**ARCHITECT:**

**itec design**  
architecture + design  
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e miami@itecdesign.net | w www.itecdesign.net  
#AA0003394

**CIVIL ENGINEERS:**

**VSN Engineering**  
leo@vsneng.com  
8550 W Flagler St Miami, FL 33144  
(305) 551-6267

**LANDSCAPE:**

**Matthew Lewis Studio**  
mlo@matthewlewisstudio.com  
400 NW 26th St.  
Miami, FL 33127  
305.417.9968

**KEY PLAN:**

**PERMIT SET**

PERMIT APPLICATION DATE:  
ISSUE DATE: 04-09-2014  
PROJECT No.: 1330  
DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
HEREIN CONSTITUTE ORIGINAL WORK OF  
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CONSENT.

SEAL:

SIGNATURE:  
ARTURO G. GRIEGO  
LIC# AR94011

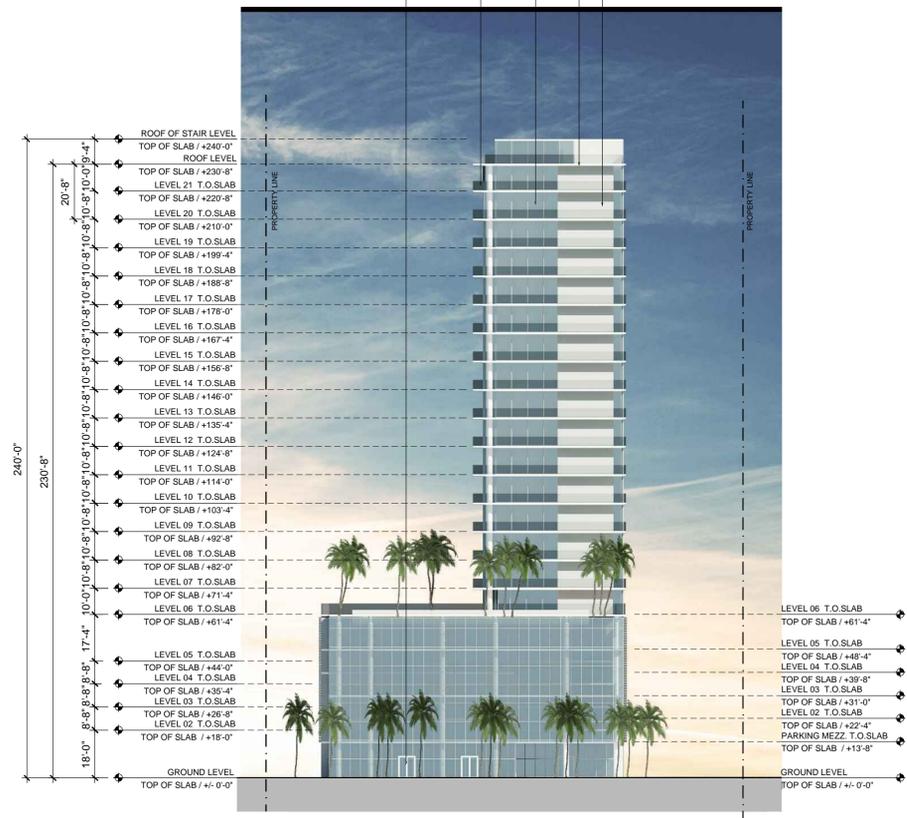
SHEET TITLE:  
**NORTH ELEVATION**

SCALE:  
1/32"=1'-0"

SHEET No.:

**1 NORTH ELEVATION**  
SCALE: 1/32" = 1'-0"

**A2-1.01**  
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**2 WEST ELEVATION**  
SCALE: 1/32" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 1/32" = 1'-0"

**MATERIALS + FINISHES LEGEND**

**EXTERIOR WALLS**

- E-1 ALUM. WHITE FRAME
- E-2 CLEAR GLASS
- E-3 SMOOTH STUCCO PAINTED BRIGHT LIGHT GRAY
- E-4 SMOOTH STUCCO PAINTED WHITE
- E-5 GLASS RAILING
- E-6 METAL SCREEN LOUVER

PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
RESIDENTIAL DEVELOPMENT  
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**B Developments**  
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**Fernández Prieto & Asoc.**  
Desarrollamos Inmobiliarios

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(305) 551-6267

LANDSCAPE:  
**Matthew Lewis Studio**  
mlo@matthewlewisstudio.com  
400 NW 26th St.  
Miami, FL 33127  
305.417.9968

KEY PLAN:

**PERMIT SET**

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ISSUE DATE: 04-09-2014  
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DRAWN BY: AG APPROVED BY: AG

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SEAL:

SIGNATURE:  
**ARTURO G. GRIEGO**  
Lic# AR94011

SHEET TITLE:  
**EAST & WEST ELEVATIONS**

SCALE:  
1/32" = 1'-0"

SHEET No.:

**A2-1.02**  
itec design inc. 2014



**MATERIALS + FINISHES LEGEND**

**EXTERIOR WALLS**

E-1	ALUM. WHITE FRAME
E-2	CLEAR GLASS
E-3	SMOOTH STUCCO PAINTED BRIGHT LIGHT GRAY
E-4	SMOOTH STUCCO PAINTED WHITE
E-5	GLASS RAILING
E-6	METAL SCREEN LOUVER

PROJECT AND OWNER:  
**NORTH BAY VILLAGE II**  
 RESIDENTIAL DEVELOPMENT  
 1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133

**B Developments**  
 1620 NW South River Dr  
 Miami, FL 33125  
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**Fernández Prieto & Asoc.**  
 Desarrollas Inmobiliarias

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 e miami@itecdesign.net | w www.itecdesign.net  
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CIVIL ENGINEERS:  
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 leo@vsng.com  
 8550 W Flagler St Miami, FL 33144  
 (305) 551-6267

LANDSCAPE:  
**Matthew Lewis Studio**  
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 400 NW 26th St.  
 Miami, FL 33127  
 305.417.9968

KEY PLAN:

**PERMIT SET**

PERMIT APPLICATION DATE:  
 ISSUE DATE: 04-09-2014  
 PROJECT No.: 1330  
 DRAWN BY: AG APPROVED BY: AG

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SEAL:

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**ARTURO G. GRIEGO**  
 LIC# AR94011

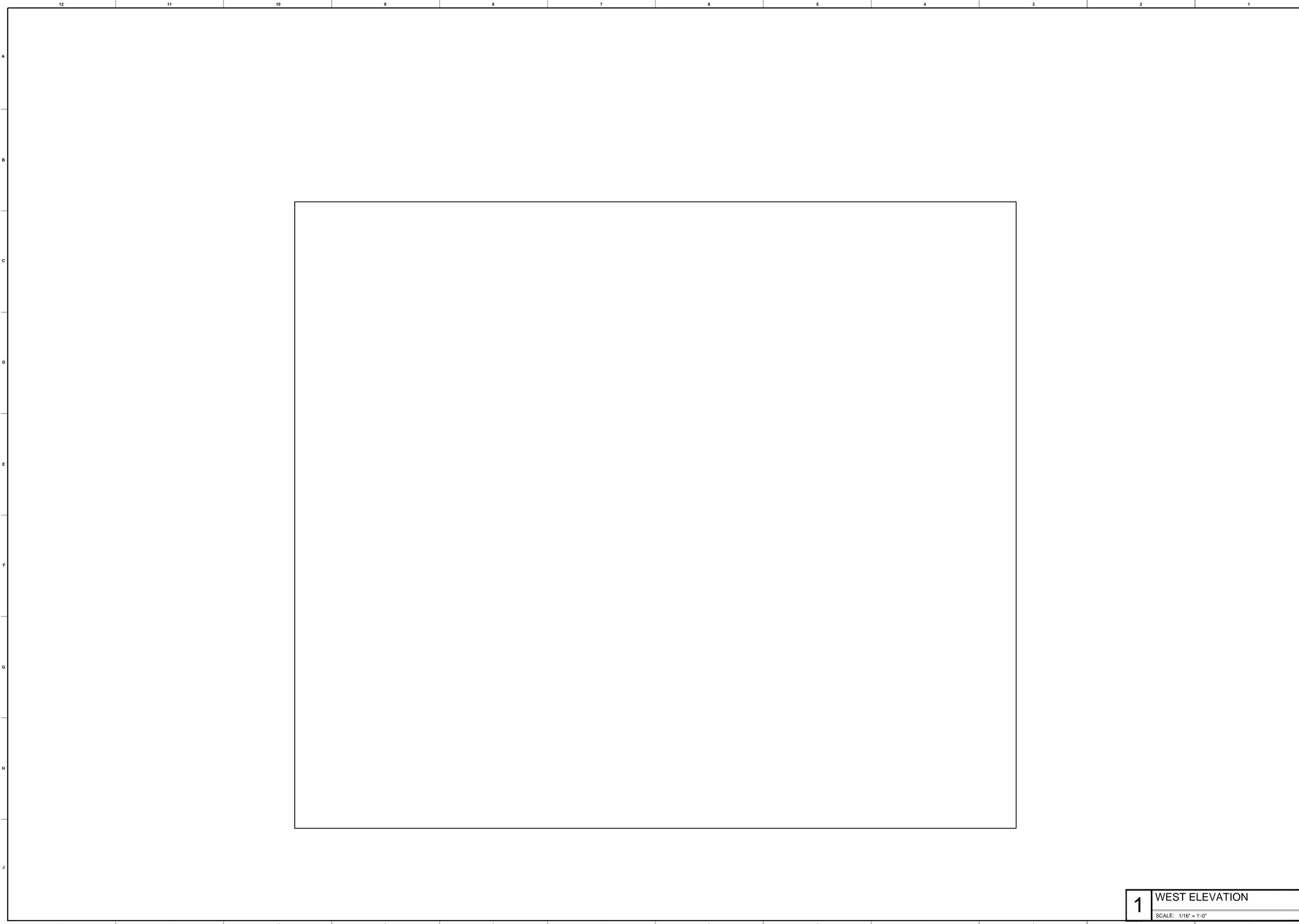
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**SOUTH ELEVATION**

SCALE:  
**1/32"=1'-0"**

SHEET No.:

**1** SOUTH ELEVATION  
 SCALE: 1/32" = 1'-0"

**A2-1.03**  
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PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:



CIVIL ENGINEERS:  
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LANDSCAPE:  
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Miami, FL 33127  
305.417.9968

KEY PLAN:

## PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 04-09-2014

PROJECT No.: 1330

DRAWN BY: AG APPROVED BY: AG

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\_\_\_\_\_

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CONSENT.



SIGNATURE:  
**ARTURO G. GRIEGO**  
LIC# AR94011

SHEET TITLE:  
**WEST ELEVATION**

SCALE:  
**1/16"=1'-0"**

SHEET No.:

<b>1</b>	<b>WEST ELEVATION</b>
SCALE: 1/16" = 1'-0"	

# A2-1.04

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PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:

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CIVIL ENGINEERS:

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LANDSCAPE:

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Miami, FL 33127  
305.417.9968

KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 04-09-2014

PROJECT No.: 1330

DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS  
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CONSENT.

SEAL:



SIGNATURE:

ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:

LONGITUDAL SECTION

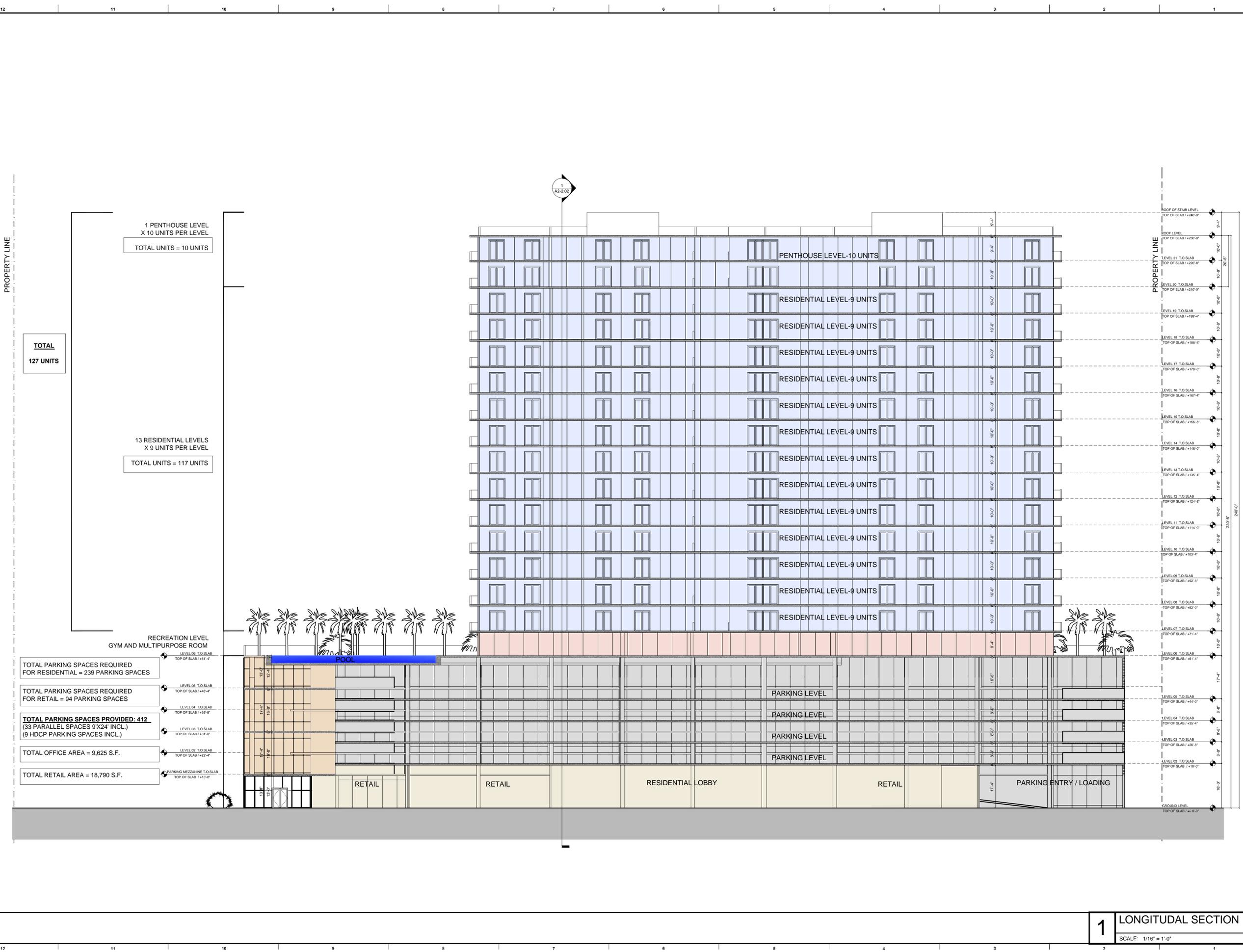
SCALE:

1/16"=1'-0"

SHEET No.:

# A3-1.01

itec design inc. 2014



**1** LONGITUDAL SECTION  
SCALE: 1/16" = 1'-0"

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:

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CIVIL ENGINEERS:

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LANDSCAPE:

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Miami, FL 33127  
305.417.9968

KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 04-09-2014

PROJECT No.: 1330

DRAWN BY: AG APPROVED BY: AG

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SEAL:



SIGNATURE:

ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:

CROSS SECTION

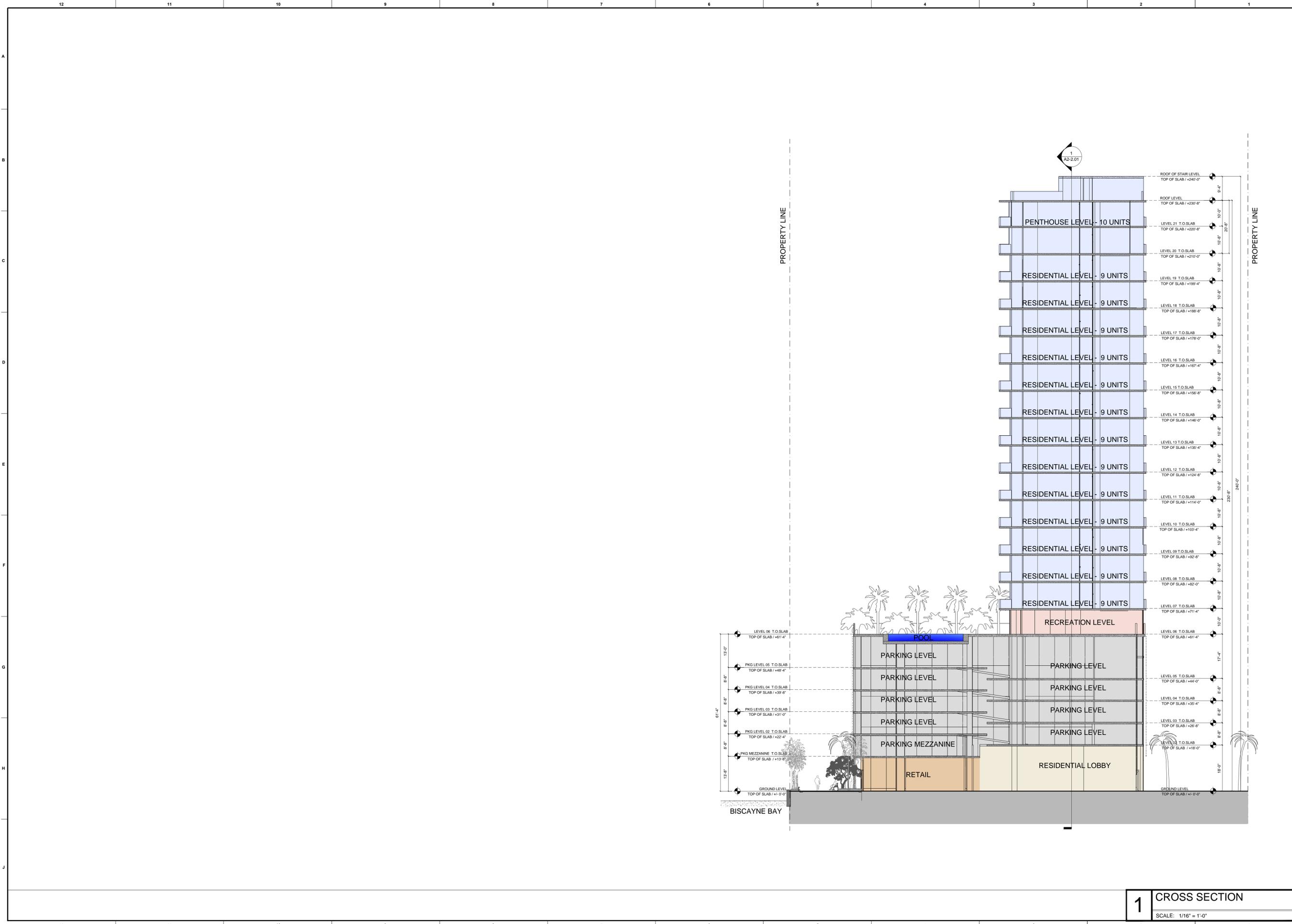
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1/16"=1'-0"

SHEET No.:

# A3-1.02

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**1** CROSS SECTION  
SCALE: 1/16" = 1'-0"

12 11 10 9 8 7 6 5 4 3 2 1

A  
B  
C  
D  
E  
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G  
H  
J



PERSPECTIVE VIEW 1

12 11 10 9 8 7 6 5 4 3 2 1

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:

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CIVIL ENGINEERS:

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LANDSCAPE:

**Matthew Lewis Studio**  
mlo@matthewlewisstudio.com  
400 NW 26th St.  
Miami, FL 33127  
305.417.9968

KEY PLAN:



## PERMIT SET

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DRAWN BY: AG APPROVED BY: AG

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CONSENT.

SEAL:



SIGNATURE:  
ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:  
PERSPECTIVE VIEWS

SCALE:  
N.T.S.

SHEET No.:

# A4-1.01

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12 11 10 9 8 7 6 5 4 3 2 1

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PERSPECTIVE VIEW 2

12 11 10 9 8 7 6 5 4 3 2 1

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:



CIVIL ENGINEERS



LANDSCAPE:



KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 04-09-2014

PROJECT No.: 1330

DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SEAL:



SIGNATURE:  
ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:  
PERSPECTIVE VIEWS

SCALE:  
N.T.S.

SHEET No.:

# A4-1.02

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12 11 10 9 8 7 6 5 4 3 2 1

A  
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J



PERSPECTIVE VIEW 3

12 11 10 9 8 7 6 5 4 3 2 1

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:

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CIVIL ENGINEERS

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(305) 551-6267

LANDSCAPE:

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400 NW 26th St.  
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305.417.9968

KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:  
ISSUE DATE: 04-09-2014  
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CONSENT.

SEAL:



SIGNATURE:  
ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:  
PERSPECTIVE VIEWS

SCALE:  
N.T.S.

SHEET No.:

# A4-1.03

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PERSPECTIVE VIEW 5

PROJECT AND OWNER:

**NORTH BAY VILLAGE II**

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:

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CIVIL ENGINEERS

**VSN Engineering**  
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(305) 551-6267

LANDSCAPE:

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400 NW 26th St.  
Miami, FL 33127  
305.417.9968

KEY PLAN:



PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 04-09-2014

PROJECT No.: 1330

DRAWN BY: AG APPROVED BY: AG

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DUPLICATED WITH THEIR WRITTEN  
CONSENT.

SEAL:



SIGNATURE:

ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:

PERSPECTIVE VIEWS

SCALE:

N.T.S.

SHEET No.:

**A4-1.05**

itec design inc. 2014

12 11 10 9 8 7 6 5 4 3 2 1

A  
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PERSPECTIVE VIEW 6

12 11 10 9 8 7 6 5 4 3 2 1

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:



CIVIL ENGINEERS



LANDSCAPE:



KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 04-09-2014

PROJECT No.: 1330

DRAWN BY: AG APPROVED BY: AG

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SEAL:



SIGNATURE:  
ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:  
PERSPECTIVE VIEWS

SCALE:  
N.T.S.

SHEET No.:

# A4-1.06

itec design inc. 2014

12 11 10 9 8 7 6 5 4 3 2 1

A  
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J



PERSPECTIVE VIEW 7

12 11 10 9 8 7 6 5 4 3 2 1

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:



CIVIL ENGINEERS



LANDSCAPE:



KEY PLAN:



## PERMIT SET

PERMIT APPLICATION DATE:

ISSUE DATE: 04-09-2014

PROJECT No.: 1330

DRAWN BY: AG APPROVED BY: AG

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SEAL:



SIGNATURE:  
ARTURO G. GRIEGO  
LIC# AR94011

SHEET TITLE:  
PERSPECTIVE VIEWS

SCALE:  
N.T.S.

SHEET No.:

# A4-1.07

itec design inc. 2014

12 11 10 9 8 7 6 5 4 3 2 1

A  
B  
C  
D  
E  
F  
G  
H  
J



PERSPECTIVE VIEW 8

12 11 10 9 8 7 6 5 4 3 2 1

PROJECT AND OWNER:

# NORTH BAY VILLAGE II

RESIDENTIAL DEVELOPMENT  
1555 N BAY CAUSEWAY | MIAMI | FLORIDA 33133



ARCHITECT:



CIVIL ENGINEERS



LANDSCAPE:



KEY PLAN:

## PERMIT SET

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ISSUE DATE: 04-09-2014

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LIC# AR94011

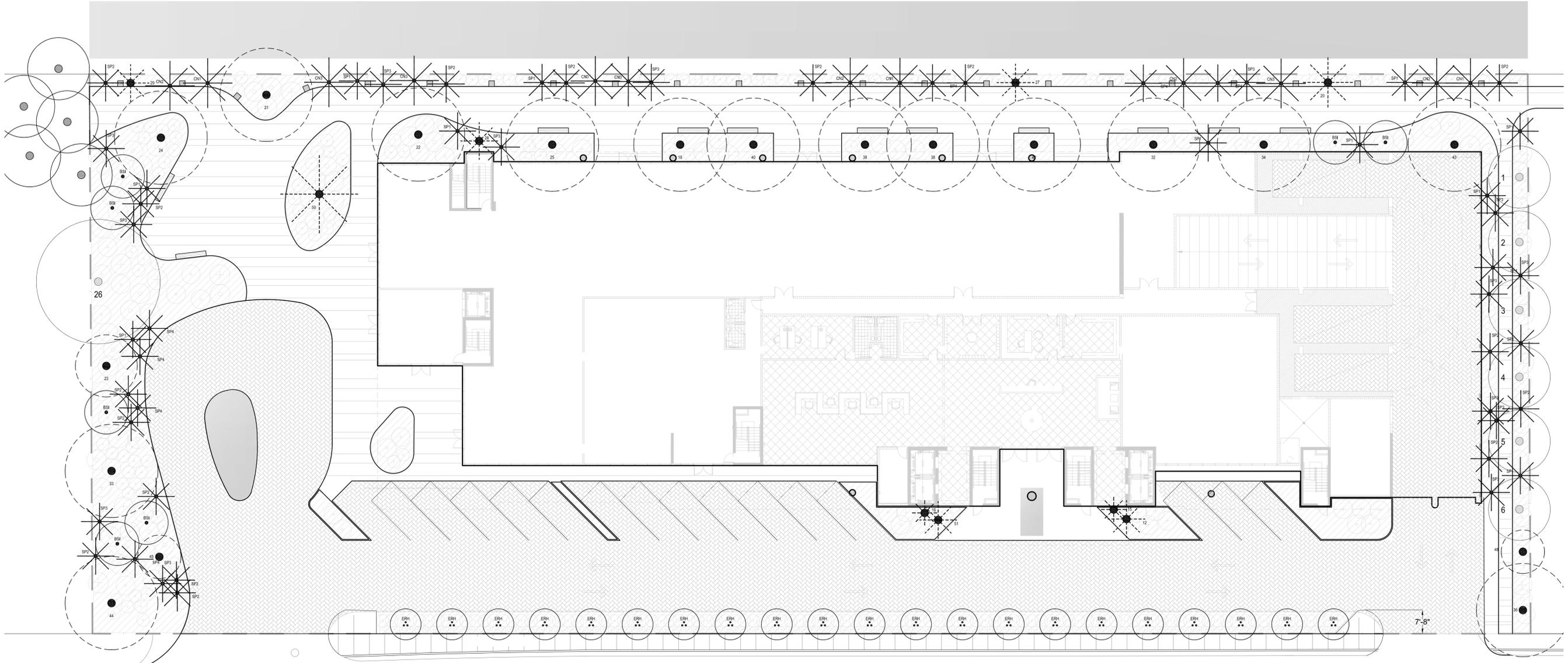
SHEET TITLE:  
PERSPECTIVE VIEWS

SCALE:  
N.T.S.

SHEET No.:

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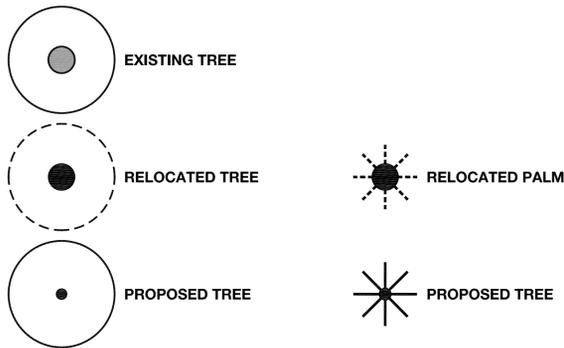
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**North Bay Village II**

1555 KENNEDY CAUSEWAY | NORTH BAY VILLAGE, FL 33141

**TREE & PALM PLANTING PLAN LEGEND**



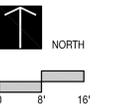
GROUND LEVEL PLANTING				
ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
<b>RELOCATED TREES &amp; SHRUBS: REFER TO SHEET L100, L101, &amp; L700</b>				
<b>TREES</b>				
BSI	7	BUSERA SIMARUBA	GUMBO LIMBO	FG. 16' - 18' HT. OA., 4" DBH MIN. (NATIVE TREE)
ERH	19	EUGENIA RHOMBEA	RED STOPPER	45 GAL. 10' - 12' HT. OA. (NATIVE TREE)
<b>PALMS</b>				
SP1	13	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 24' GW. (NATIVE PALM)
SP2	16	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 28' GW. (NATIVE PALM)
SP3	14	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 32' GW. (NATIVE PALM)
SP4	8	SABAL PALMETTO	SABAL PALM	CHARACTER CURVE TRUNK 36' GW. (NATIVE PALM)
CN1	3	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 26' GW.
CN2	4	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 30' GW.
CN3	5	COCOS NUCIFERA	COCONUT PALM	CHARACTER CURVE TRUNK 34' GW.

GROUND LEVEL RELOCATED TREES & PALMS					
#	BOTANICAL NAME	COMMON NAME	DBH.	HT.	SPREAD
12	LATANIA LODDIGESII	BLUE LATAN PALM	9"	18'	16'
15	ADONIDIA MERRILLII	CHRISTMAS PALM	4"	30'	8'
16	ADONIDIA MERRILLII	CHRISTMAS PALM	4"	32'	8'
18	BUCIDA BUCERAS	BLACK OLIVE	18"	30'	8'
20	COCO NUCIFERA	COCONUT PALM	9"	30'	16'
21	BUCIDA BUCERAS	BLACK OLIVE	24"	30'	30'
22	BUCIDA BUCERAS	BLACK OLIVE	18"	30'	30'
23	CONOCARPUS ERECTUS	GREEN BUTTWOOD	24"	30'	30'
24	BUCIDA BUCERAS	BLACK OLIVE	18"	30'	35'
25	CONOCARPUS ERECTUS	GREEN BUTTWOOD	24"	30'	35'
27	SABAL PALMETTO	SABAL PALM	18"	24'	12'
28	SABAL PALMETTO	SABAL PALM	18"	22'	12'
29	SABAL PALMETTO	SABAL PALM	18"	24'	12'
32	CONOCARPUS ERECTUS	GREEN BUTTWOOD	24"	40'	35'

GROUND LEVEL RELOCATED TREES & PALMS					
#	BOTANICAL NAME	COMMON NAME	DBH.	HT.	SPREAD
33	CONOCARPUS ERECTUS	GREEN BUTTWOOD	18"	40'	35'
34	CONOCARPUS ERECTUS	GREEN BUTTWOOD	36"	40'	35'
36	PISCIDIA PISCIPULA	JAMAICA DOGWOOD	18"	30'	25'
38	CONOCARPUS ERECTUS	GREEN BUTTWOOD	18"	30'	28'
39	CONOCARPUS ERECTUS	GREEN BUTTWOOD	18"	28'	30'
40	CONOCARPUS ERECTUS	GREEN BUTTWOOD	24"	40'	24'
41	CONOCARPUS ERECTUS	GREEN BUTTWOOD	36"	35'	30'
42	CONOCARPUS ERECTUS	GREEN BUTTWOOD	18"	28'	30'
43	CONOCARPUS ERECTUS	GREEN BUTTWOOD	18"	28'	26'
44	CONOCARPUS ERECTUS	GREEN BUTTWOOD	18"	28'	24'
45	CONOCARPUS ERECTUS	GREEN BUTTWOOD	18"	28'	24'
48	PISCIDIA PISCIPULA	JAMAICA DOGWOOD	10"	24'	20'
50	PHOENIX RECLINATA 'HYBRID'	SPIDER PHOENIX	MS	28'	18'
51	LATANIA LODDIGESII	BLUE LATAN PALM	9"	18'	16'

SEAL  
NOT FOR CONSTRUCTION

GROUND LEVEL  
TREE & PALM PLANTING PLAN  
DATE: ISSUE  
04/07/2014 ENTITLEMENTS



**L701**